



RENDERINGS
FOR ILLUSTRATION ONLY
No Scale, Sample Landscaping



Project Planning Statistics

TMS: 201-00-00-012.000	
Zoning: PUD	
Design Code: 2021 IRC	
Occupancy Category: II	
Flood Zone X	
LOT SIZE:	5.141 ACRES
BLDG. ENVELOPE:	3385 SF
TOTAL AREA UNDER ROOF:	4004 SF
LIVABLE AREA:	4166 SF
MAIN:	2646 SF
SECOND:	1520 SF
PORCHES:	547 SF
GARAGE:	936 SF
PATIO/DECKS:	248 SF
DRIVES & WALKS:	8184 SF

Project Contacts

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Sources:
Palmetto Land Surveying, Inc
Jason Penington
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2065 Savannah Highway Ste 2 Charleston, S.C. 29407

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Drawings below completed by other entities and were not under the supervision of Pendium Group or the design professional in responsible charge:	
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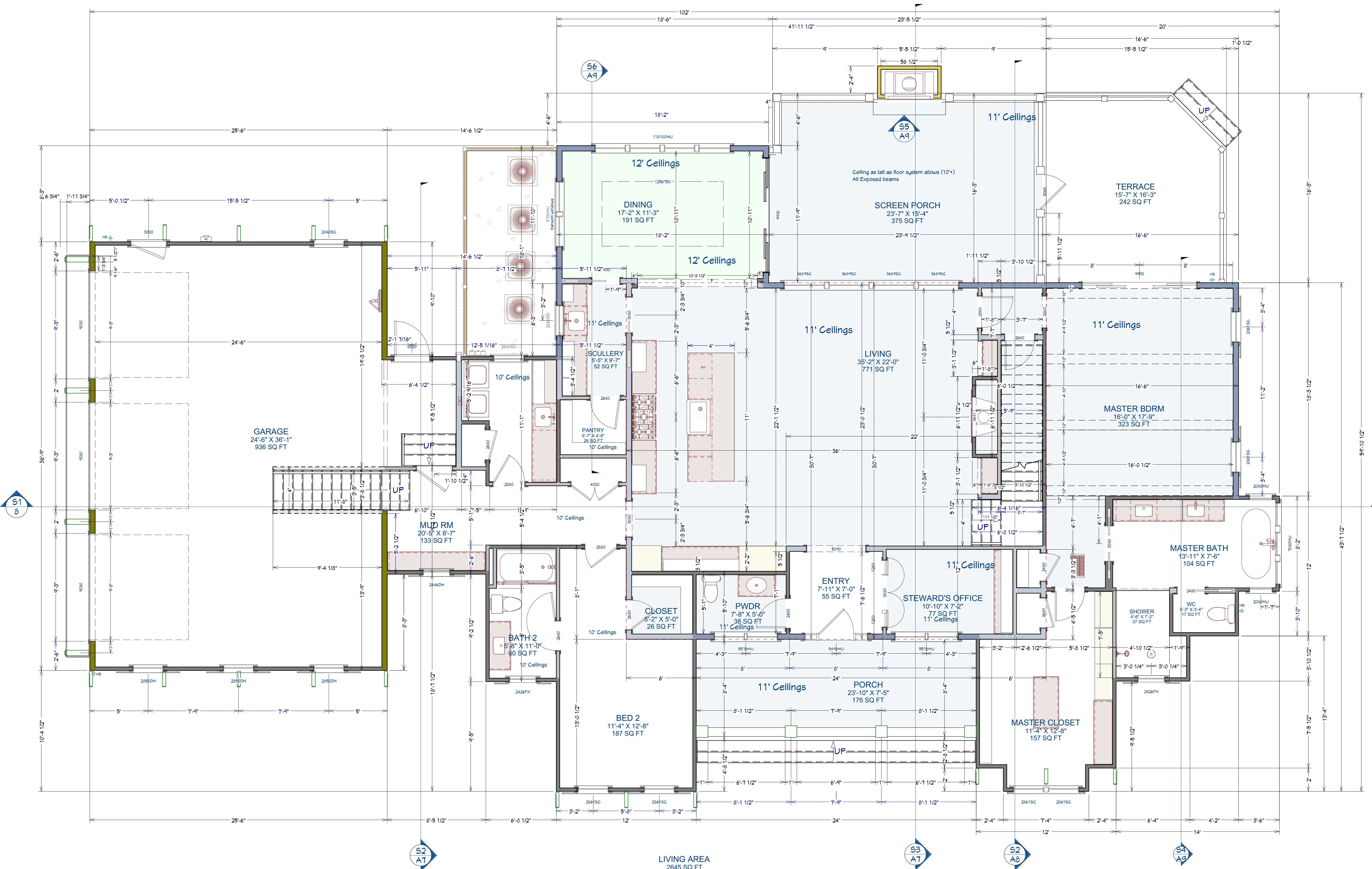
Custom Design Home For:
Lot 12 -The Pastures at Poplar Grove
Bradley Pasture Way
Ravenel, SC 29470

Project Overview

DATE:
1/13/2026

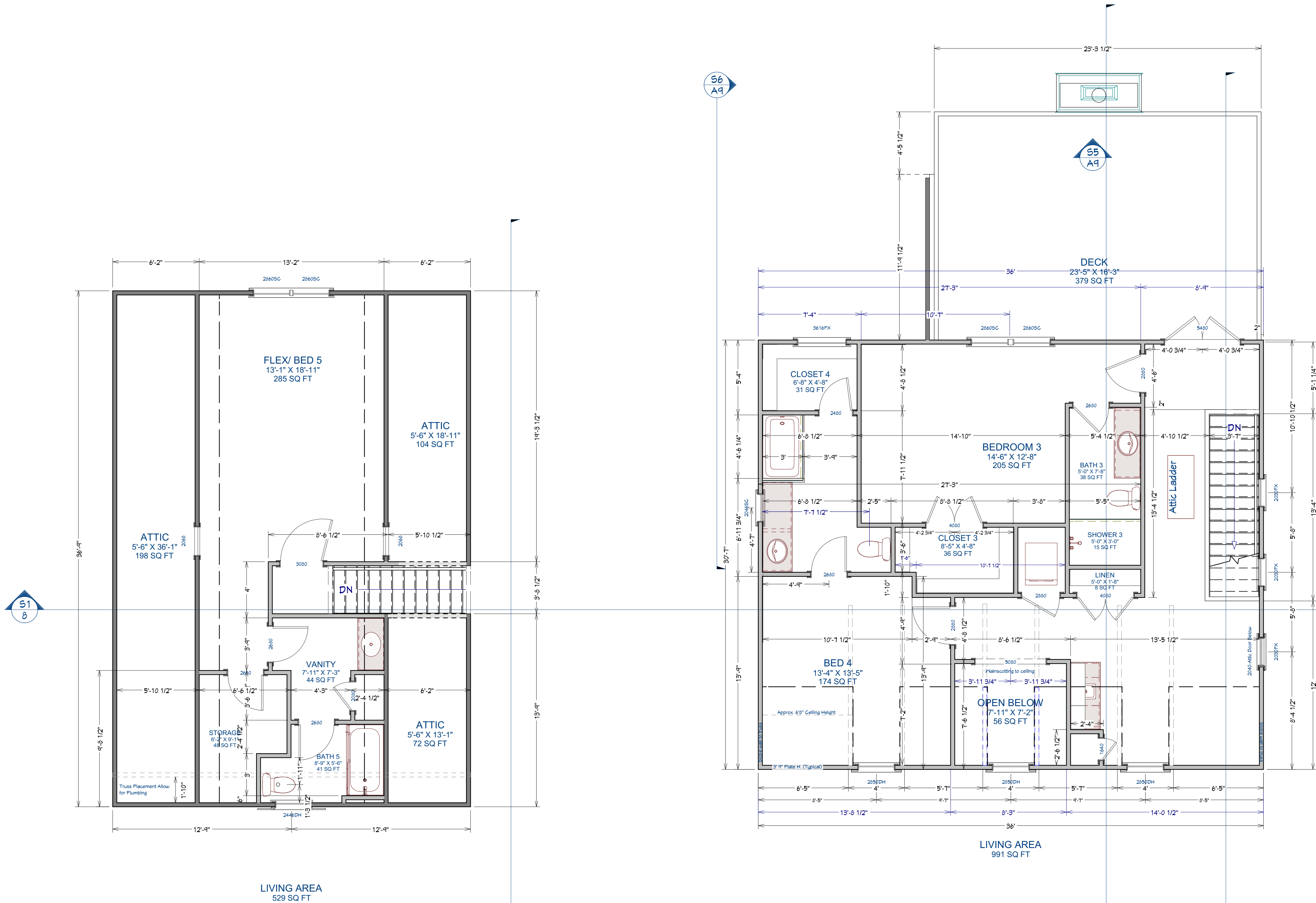
SHEET:

A1



FRAMING NOTES:
ALL EXTERIOR DIMENSIONS ARE TO THE
FRAMING OR MAIN LAYER. DIMENSIONS TO
OPENINGS ARE TO THE FRAMING, ROUGH
OPENING.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS
AND IS RESPONSIBLE FOR ALL DIMENSIONS
(INCLUDING ROUGH OPENINGS).

First Floor Plan
Scale: 1/4" = 1'



GENERAL NOTES AND SPECIFICATIONS

DESIGN CRITERIA:
2021 International Building Code with SC modifications
2021 International Fire Code with SC modifications
2021 International Plumbing Code
2021 International Mechanical Code with SC modifications
2021 International Fuel Gas Code with SC modifications
2009 South Carolina Energy Conservation Code
2020 National Electrical Code (NFPA 70) with SC modifications
2017 A117.1 ANSI

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH ALL STATE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

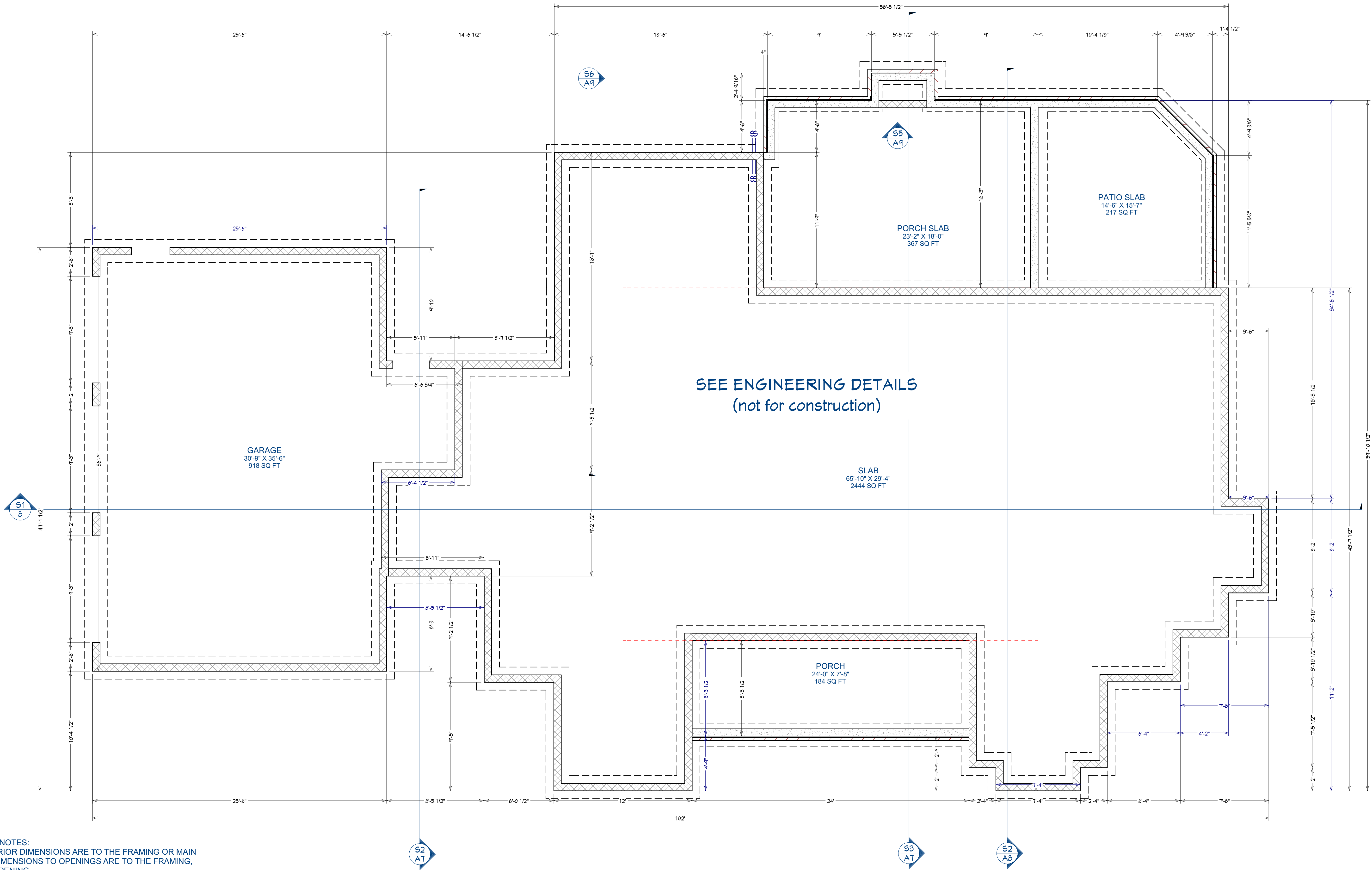
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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

FRAMING NOTES:
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Foundation Plan
Scale: 1/4" = 1'

Foundation Plan

DATE:
1/13/2026

SHEET:

A4

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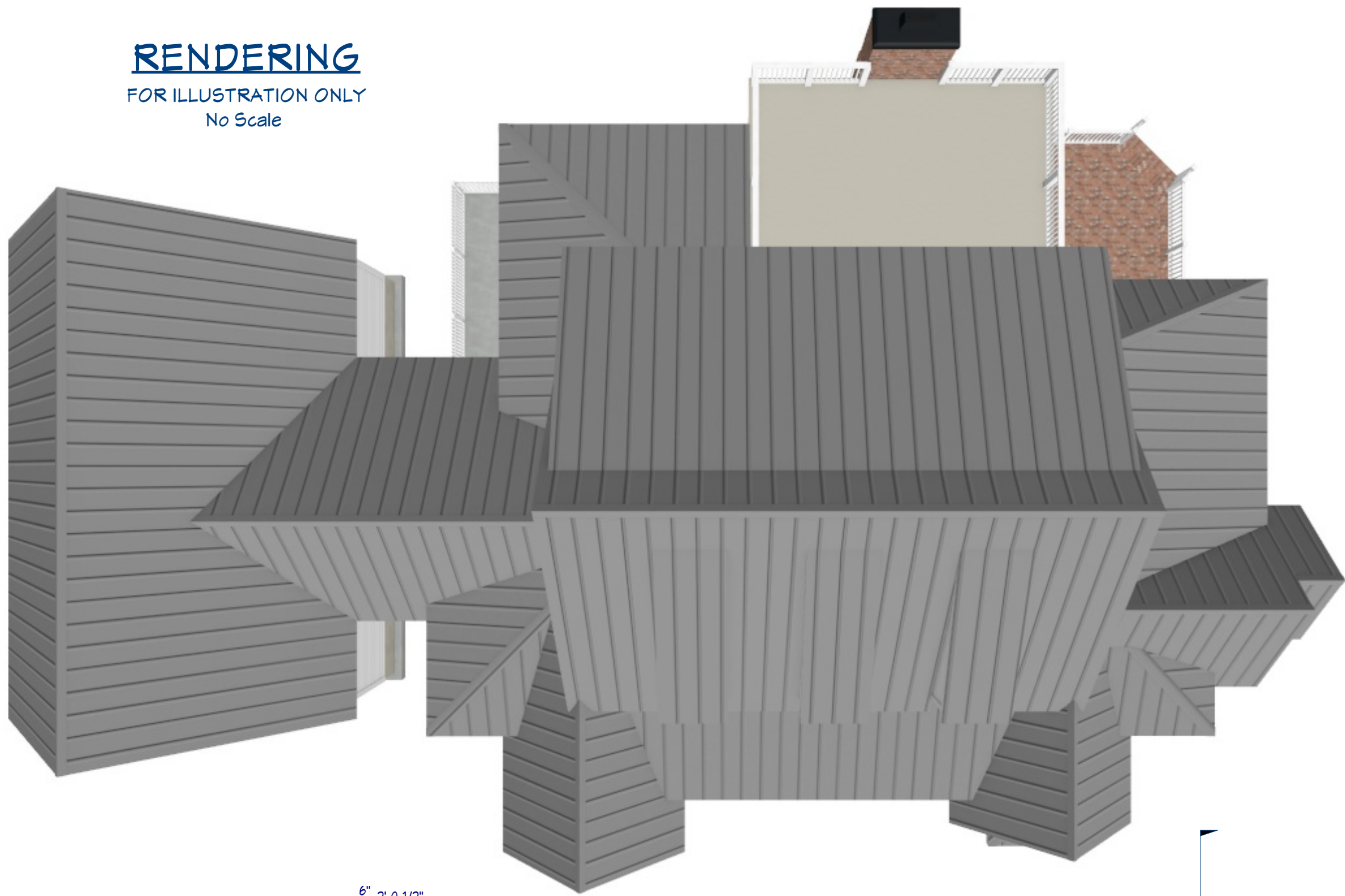
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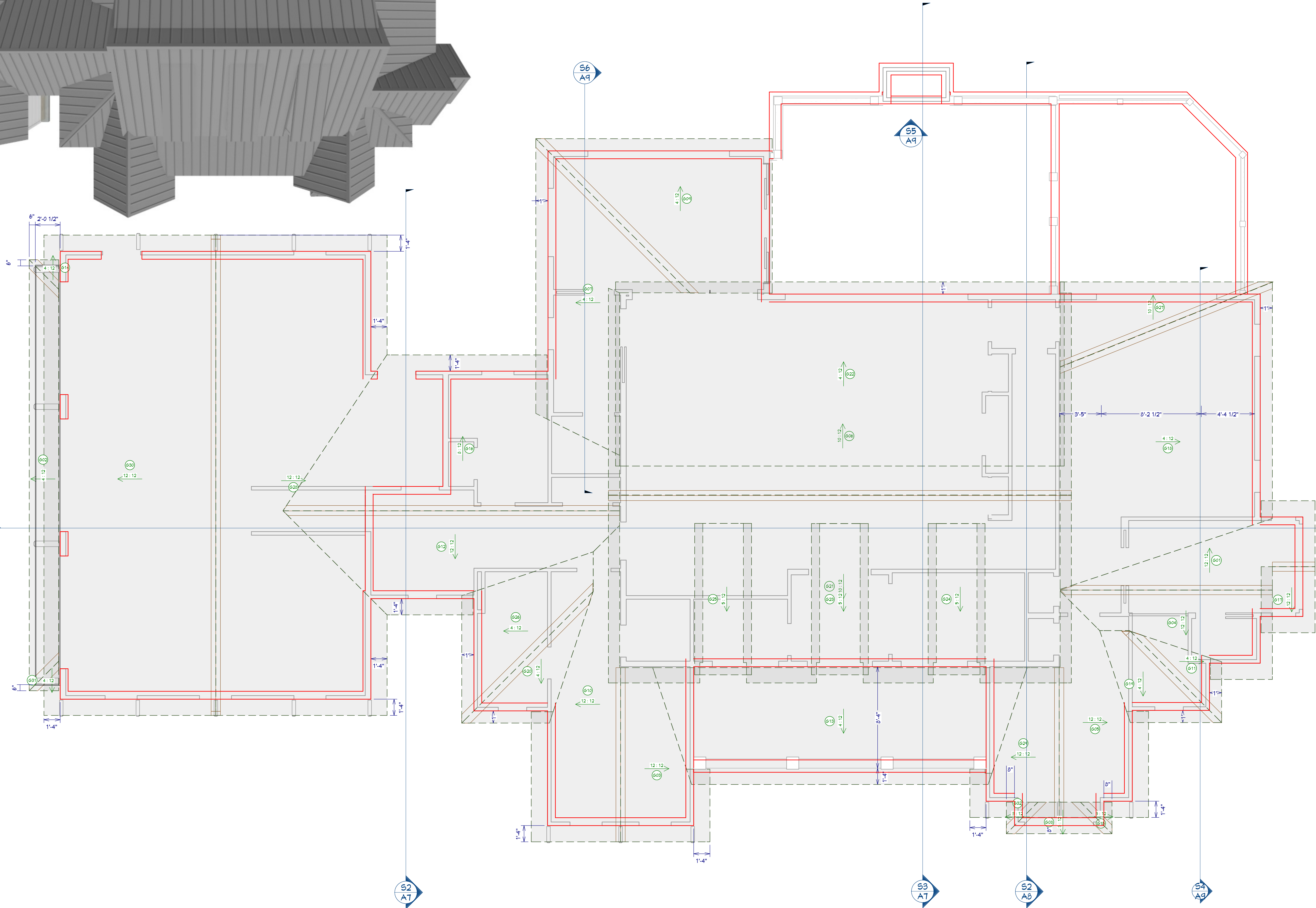
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RENDERING

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No Scale



Roof Area Schedule			
Number	Area, Surface	Pitch	Description
G01	102.37	12 : 12	Roof Plane
G02	94.22	4 : 12	Roof Plane
G03	104.42	12 : 12	Roof Plane
G04	113.49	12 : 12	Roof Plane
G05	134.13	12 : 12	Roof Plane
G06	155.26	10 : 12	Roof Plane
G07	166.47	4 : 12	Roof Plane
G08	16.21	3 : 12	Roof Plane
G09	114.57	4 : 12	Roof Plane
G10	1171.47	12 : 12	Roof Plane
G11	14.84	4 : 12	Roof Plane
G12	213.88	12 : 12	Roof Plane
G13	211.47	4 : 12	Roof Plane
G14	3.1	4 : 12	Roof Plane
G15	3.45	3 : 12	Roof Plane
G16	311	8 : 12	Roof Plane
G17	33.92	12 : 12	Roof Plane
G18	345.34	4 : 12	Roof Plane
G19	394.33	4 : 12	Roof Plane
G20	40.77	4 : 12	Roof Plane
G21	593.37	10 : 12	Roof Plane
G22	595.69	4 : 12	Roof Plane
G23	62.04	5 : 12	Roof Plane
G24	62.11	5 : 12	Roof Plane
G25	62.19	5 : 12	Roof Plane
G26	77.66	4 : 12	Roof Plane
G27	74.23	10 : 12	Roof Plane
G28	659.01	12 : 12	Roof Plane
G29	88.41	12 : 12	Roof Plane
G30	786.22	12 : 12	Roof Plane
G31	3.1	4 : 12	Roof Plane
G32	3.45	3 : 12	Roof Plane
Totals:	5544.34		



Roof Plan
Scale: 1/4" = 1'

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Roof Plan

DATE:
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SHEET:

A5



Front Elevation
Scale: 1/4" = 1'



Rear Elevation
Scale: 1/4" = 1'

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STATE OF SOUTH CAROLINA
Pendum Group, LLC
Ravenel, SC 29470
REGISTERED PROFESSIONAL ARCHITECTS

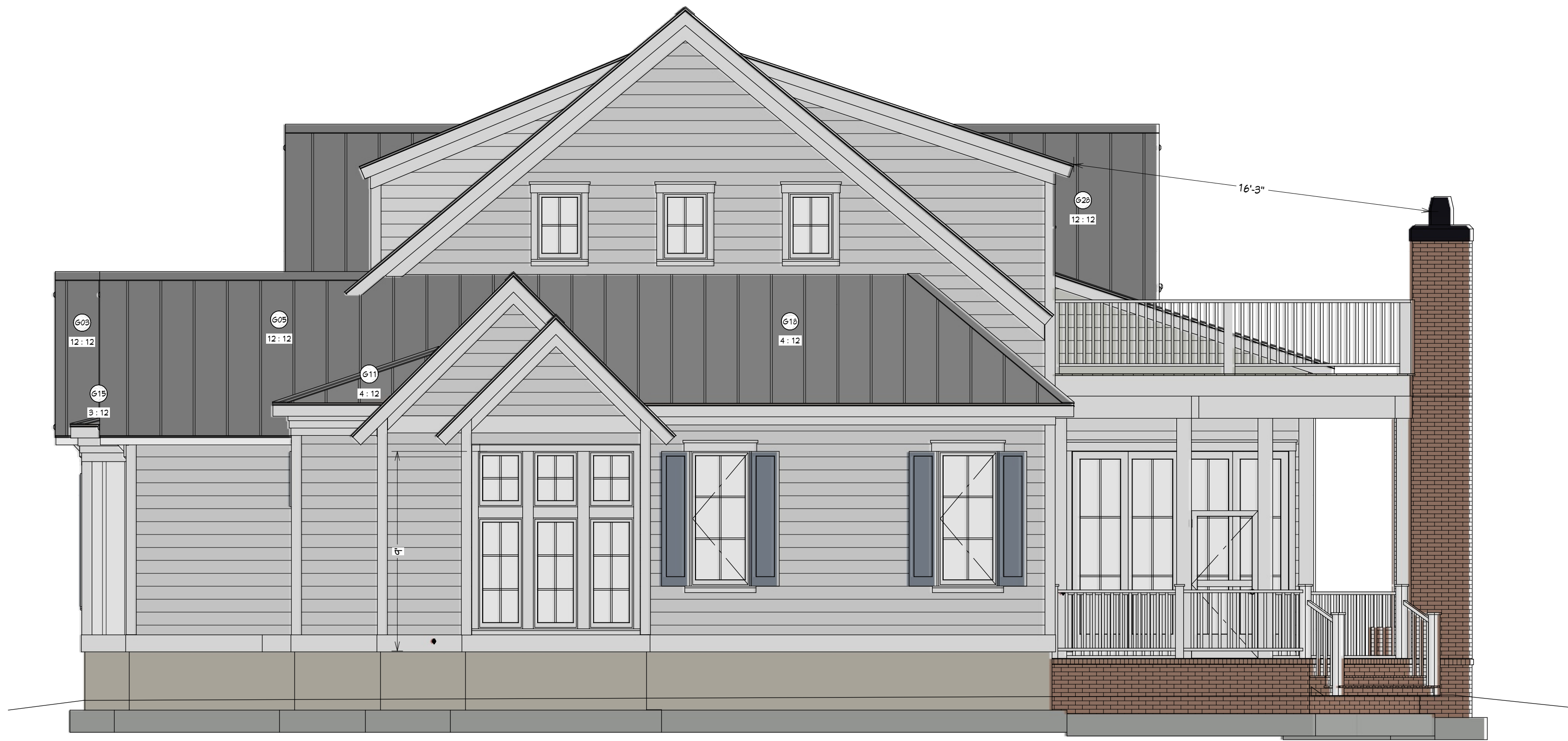
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Exterior
Elevations

DATE:
1/13/2026

SHEET:
A6



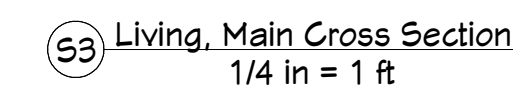
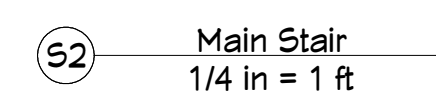
Right Elevation

Scale: 1/4" = 1'



Left Elevation

Scale: 1/4" = 1'





1) PREPARE ROUGH OPENING: CUT STD. "I-CUT" IN THE WRB. CUT (2) 45° SLITS AT TOP TO CREATE FLAP. APPLY FLEXIBLE FLASHING AT SILL + 6" MIN. UP JAMBS. SECURE FLEXED EDGE OF FLASHING WITH MECHANICAL FASTENERS.

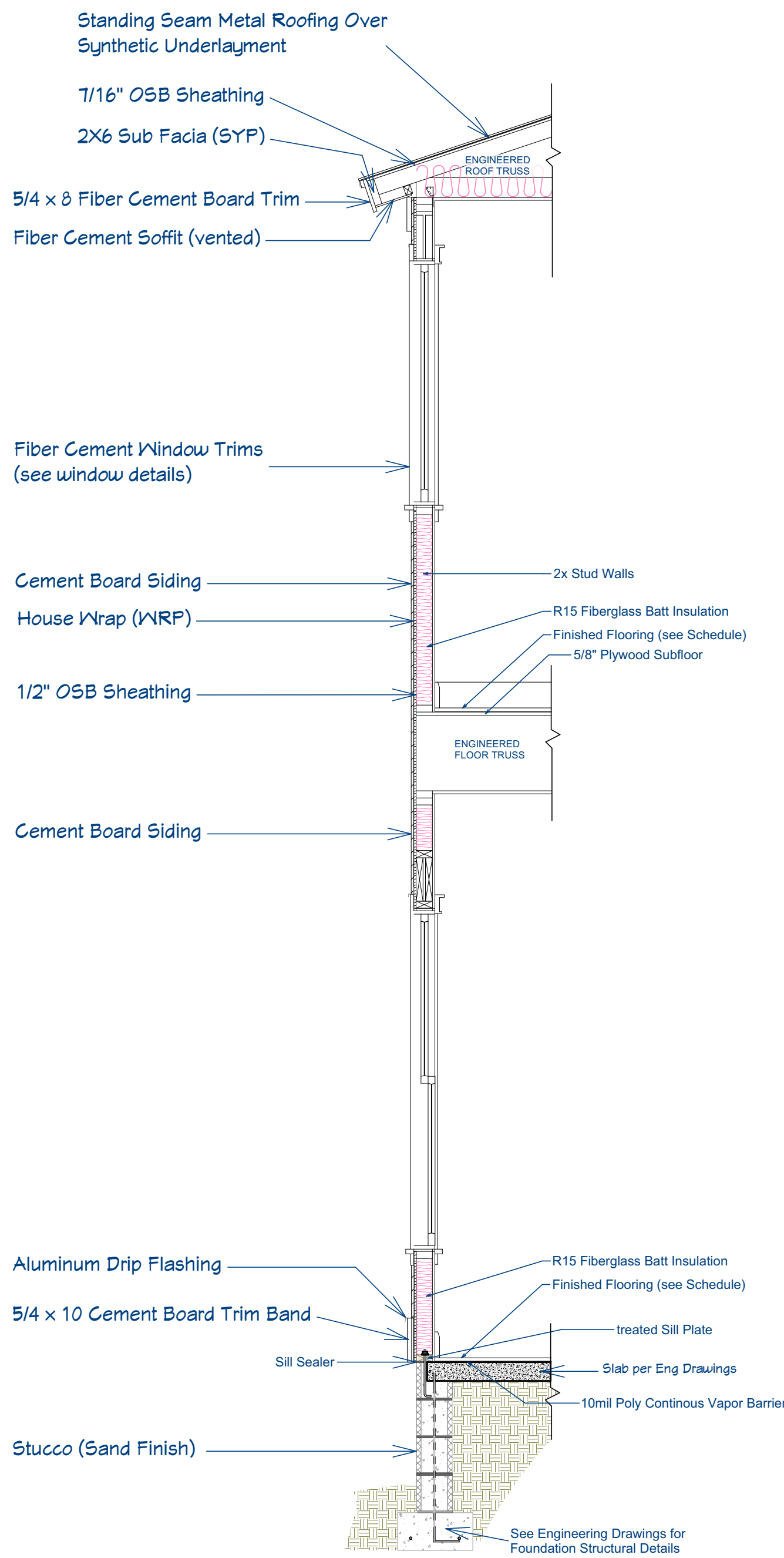
2) INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.

3) APPLY FLASHING TAPE AT JAMBS, EXTENDING 1" ABOVE AND BELOW WINDOW HEAD FLANGE AND BOTTOM OF SILL FLASHING. APPLY FLASHING TAPE ALONG HEAD, EXTENDING BEYOND OUTER EDGES OF JAMB FLASHING.

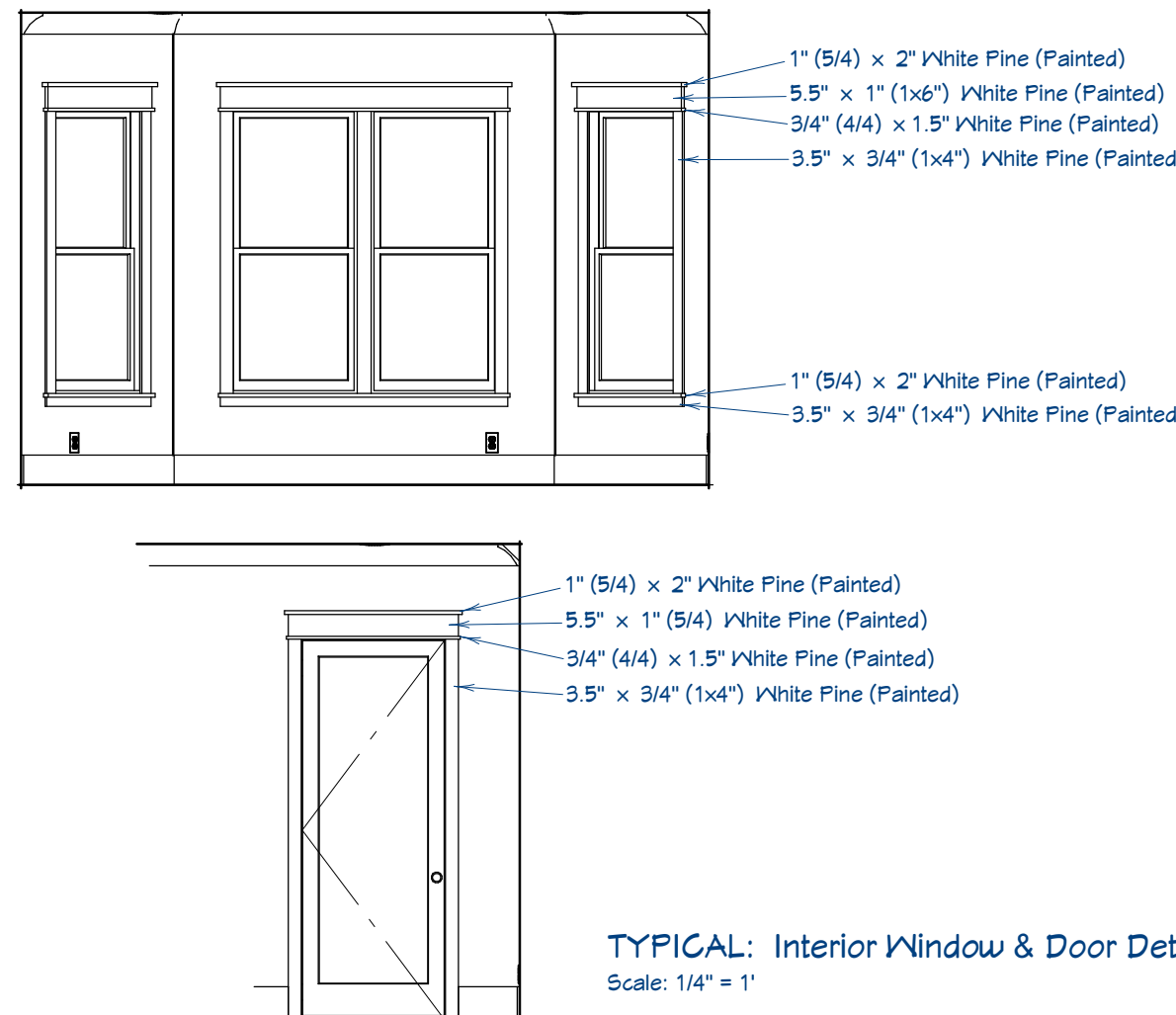
4) REPLACE WRB FLAP AT HEAD AND TAPE REMAINING CUTS IN WRB

*REVISE INSTALLATION PROCESS ACCORDING TO WINDOW MANUFACTURER'S INSTRUCTIONS

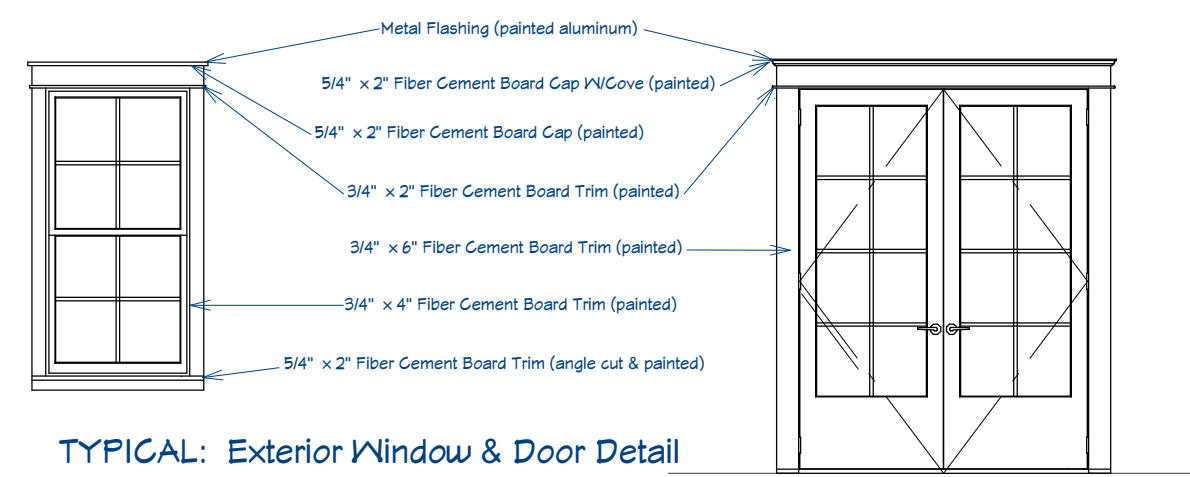
Window Flashing Detail



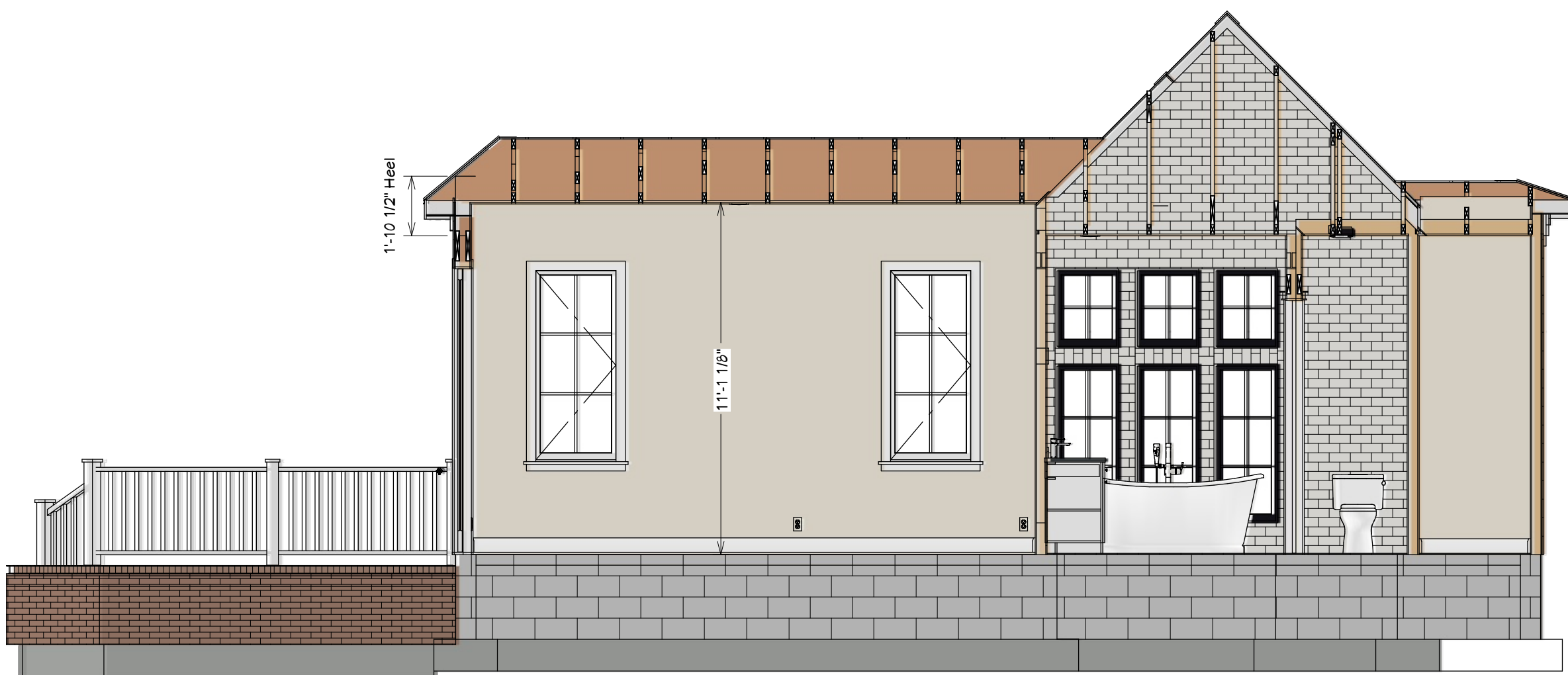
Wall Details (typical)



TYPICAL: Interior Window & Door Detail
Scale: 1/4" = 1'



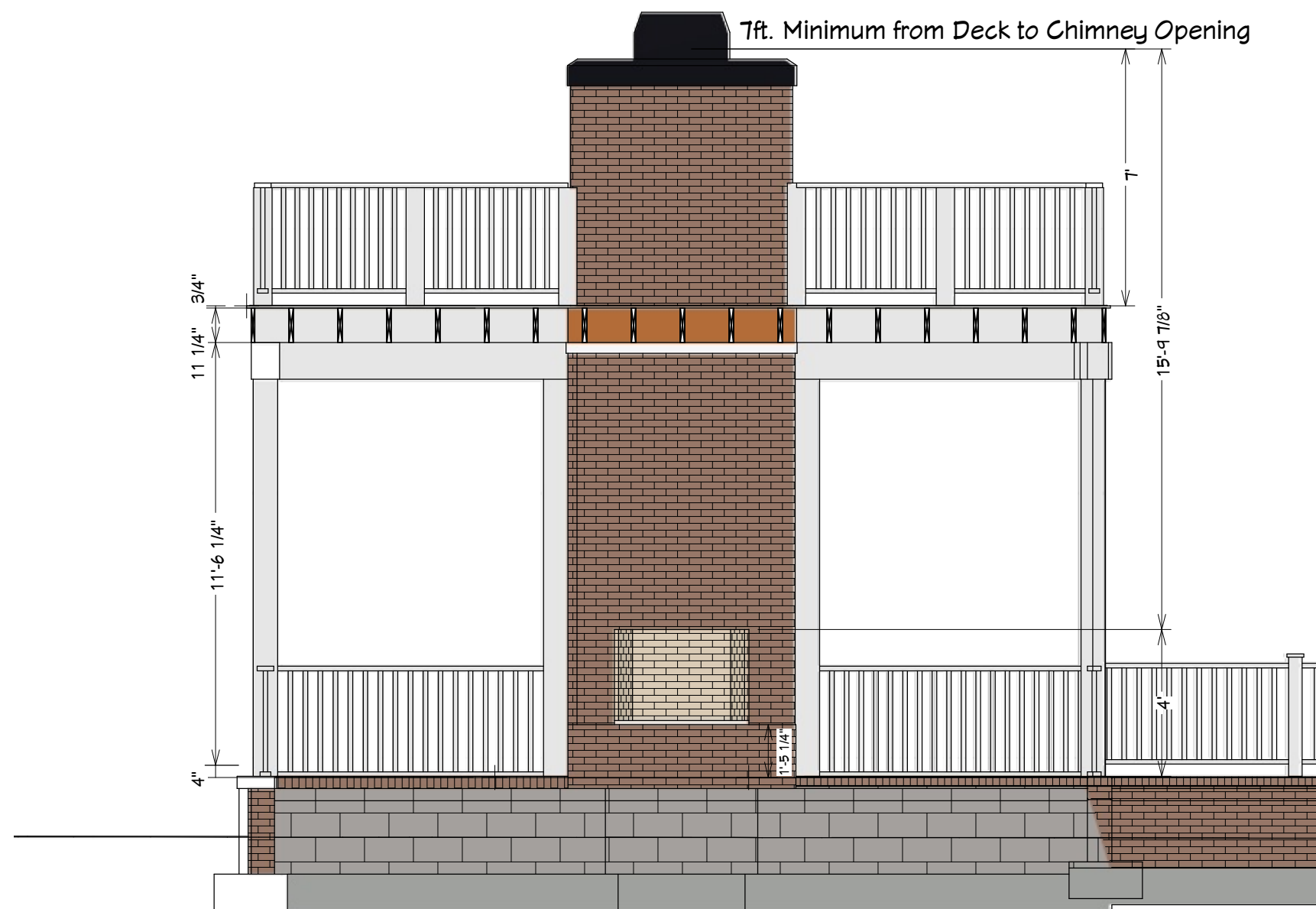
TYPICAL: Exterior Window & Door Detail
Scale: 1/4" = 1'



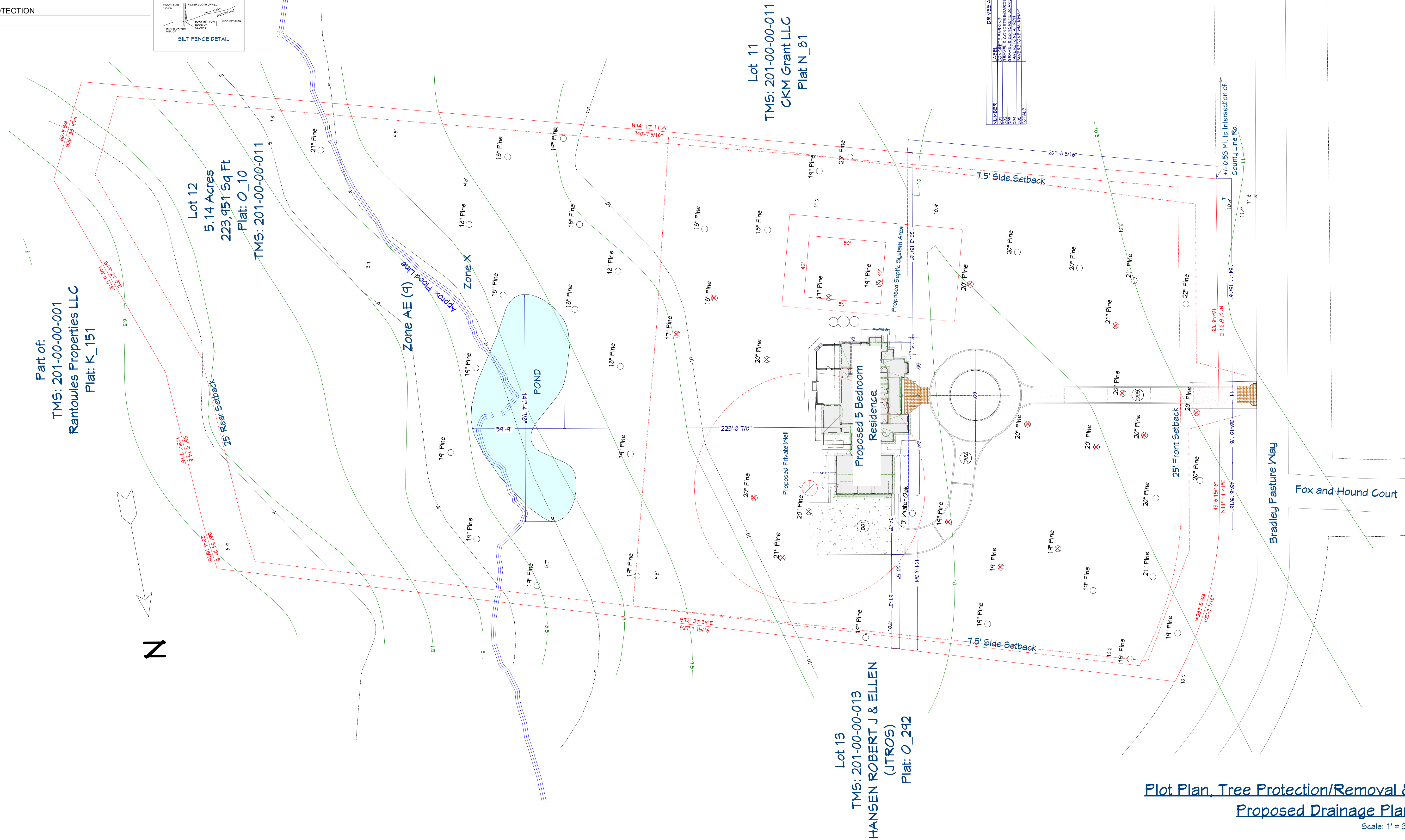
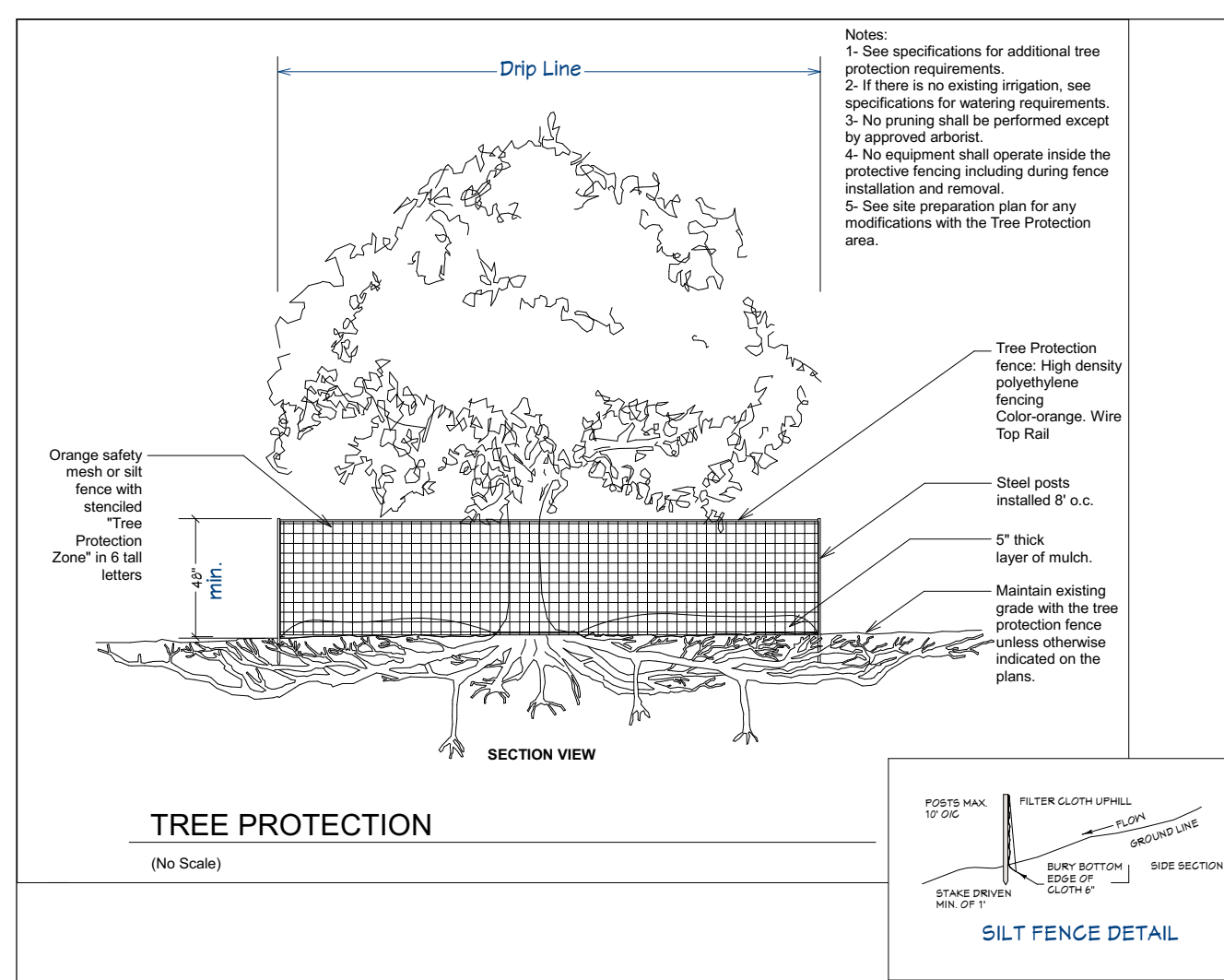
554 Master Bed & Bath
1/4 in = 1 ft



56 Dining Room
1/4 in = 1 ft



55 Porch Fireplace
1/4 in = 1 ft



DRIVES AND WALKS			
NUMBER	LABEL	AREA, DRIVEWAY'S AREA, PAVERS	PERIMETER
D01	CONCRETE PARKING	2402	3575.316'
D02	GRAVEL & CONCRETE BORDER	1550.20	1824.016'
D03	GRAVEL & CONCRETE BORDER	1511.27	1804.0
D04	PAVERSTONE WALKWAY	503.94	
D05	PAVERSTONE WALKWAY	553.46	
TOTAL 5:		1349.55	1112.709"

- LEGEND:**
- | | |
|-----|----------------------------|
| 6.0 | 600 elevation |
| | Elevation Datum: NGVD 1983 |
| | Temperature benchmark |
| Ⓢ | Transformer |
| Ⓜ | Cable Box |
| Ⓢ | Tree (existing) |
| Ⓧ | Tree (to be removed) |
| → | Existing Grade |
| → | Proposed Grade |
| → | Existing Drainage Flow |
| → | Proposed Drainage Flow |
| → | Temp Walkdown Area |
| → | Tree Protection Zone |
| → | Split Fence |
- Project Elevation Datum
NGVD 1983

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Site Plan Tree Protection & Drainage

DATE:
1/13/2026

SHEET:

A12

Plot Plan, Tree Protection/Removal & Proposed Drainage Plan

Scale: 1" = 30'