



RENDERINGS

FOR ILLUSTRATION ONLY
No Scale, Sample Landscaping



Project Planning Statistics

TMS: 204-01-00-027.000
Zoning: PUD
Design Code: 2021 IRC
Occupancy Category: II

LOT SIZE: 30800 SF (.7 Acre)
ANTICIPATED DISTURBED AREA: 16000 SF
BLDG. ENVELOPE: 3385 SF
TOTAL AREA UNDER ROOF: 4004 SF

LIVABLE AREA: 2897 SF
MAIN: 2295 SF
SECOND: 602 SF

PORCHES: 366 SF
GARAGE: 725 SF
PATIO/DECKS: 100 SF
DRIVES & WALKS: 2000 SF

Project Contacts

General Contractor:
Pendium Group, LLC.
4265 Duck Club Rd Ravenel SC 29470
Thomas Wingard (Project Main Contact)
Ph: 843-385-2494 thomas@pendium.com
Tom Wingard (Project Coordination Contact):
Ph: 843 458-4601 tom@pendium.com

Architectural Firm & Construction Management:
Pendium Group, LLC Architecture Firm #101636
Tom Wingard (Main Contact) GC #G121762, CCM #1046
Ph: 843 458-4601 tom@pendium.com | 4265 Duck Club Rd Ravenel SC 29470
Ahmad M Al-Shemmeri, NCARB (Architect) SC-AR #10394
Ph: 843 405-7055 ahmad@pendium.com | 4265 Duck Club Rd Ravenel SC 29470

Residential Structures, PC:
Cory Munson, PE
Ph: 843 406-7174 Cory@residentialstructurespc.com
930 Folly Rd Charleston, SC 29412

Sources:
Palmetto Land Surveying, Inc
Jason Penington
Ph: 843-571-5191 palmettolandsurveying@gmail.com
2065 Savannah Highway Ste 2 Charleston, S.C. 29407

INDEX TO DRAWINGS

TITLE SHEET	A1
FIRST FLOOR PLAN	A2
SECOND FLOOR PLAN	A3
FOUNDATION PLAN	A4
ROOF PLAN	A5
EXTERIOR ELEVATIONS	A6-A7
SCHEDULES/DETAILS	A8-A9
ELECTRICAL PLAN	A10
SITE & DRAINAGE PLAN	A11

Drawings below completed by other entities and were not under the supervision of Pendium Group or the design professional in responsible charge:

STRUCTURAL GENERAL NOTES	GN
STRUCTURAL DRAWINGS	S1-S8
STRUCTURAL DETAILS	SD1.0-SD4.1
LANDSCAPE PLANS	L100-L521



DRAWINGS PROVIDED BY:
Pendium Group, LLC
4265 Duck Club Rd. Ravenel, SC 29470
o. 843.405.7055 | f. 888.887.5076 | Pendium.com

THIS ARCHITECTURAL
DRAWING AND DESIGN
DRAWINGS, AS AN
INSTRUMENT OF SERVICE,
ARE PROTECTED UNDER U.S.
GOVERNMENT COPYRIGHT
LEGISLATION.
© Copyright 2020



Custom Design Home For:
Tony & Elisa Stanfield
Lot 27 -The Peninsula at Poplar Grove
4021 Bulow Landing Road
Ravenel, SC 29470

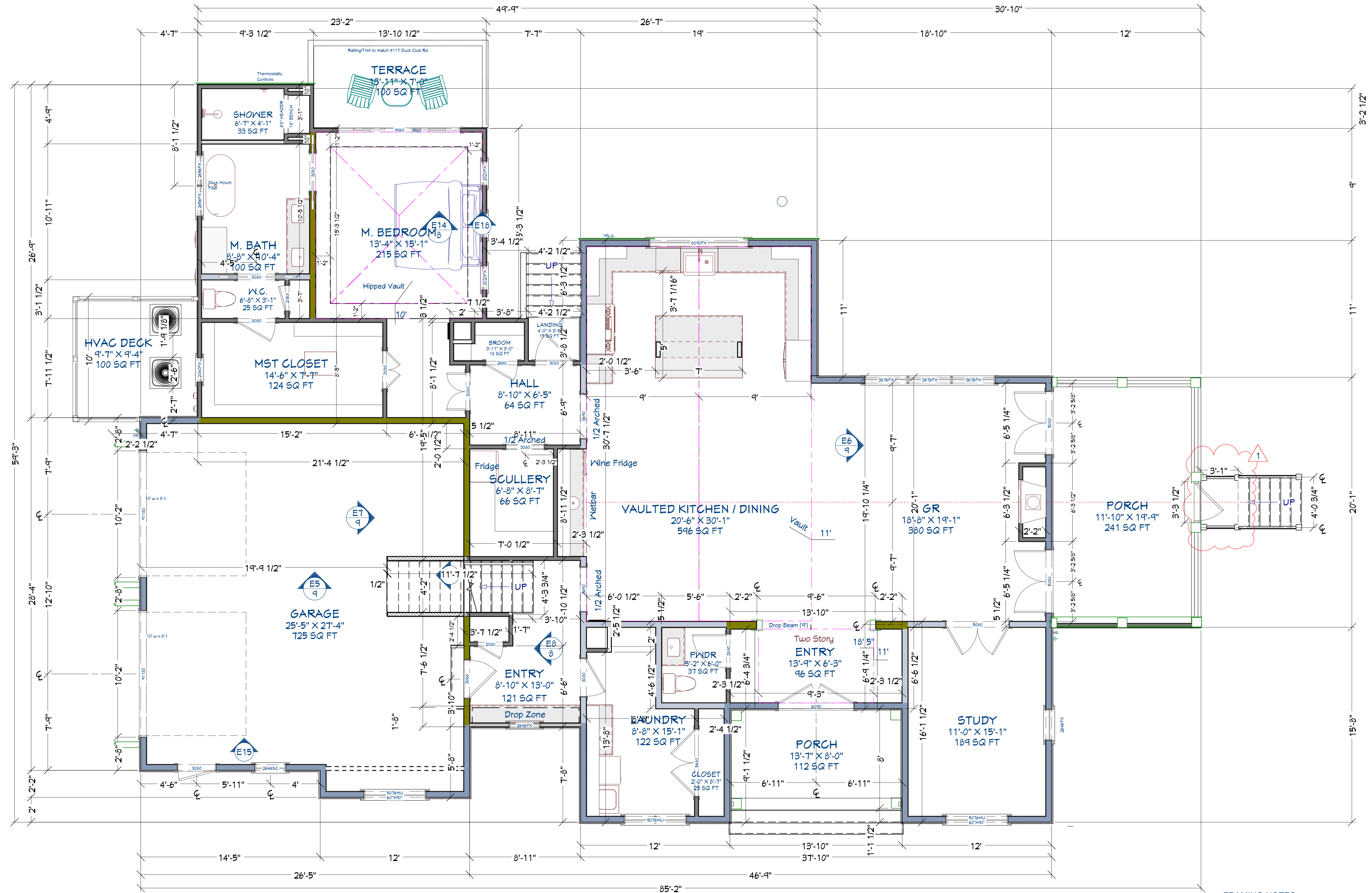
Revision Table	
Number	Date

Project Overview

DATE:
7/2/2025

SHEET:

A1



LIVING AREA
2295 SQ FT

FRAMING NOTES:
ALL EXTERIOR DIMENSIONS ARE TO THE
FRAMING OR MAIN LAYER. DIMENSIONS TO
OPENINGS ARE TO THE FRAMING, ROUGH
OPENING.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS
AND IS RESPONSIBLE FOR ALL DIMENSIONS
(INCLUDING ROUGH OPENINGS).

First Floor Plan
Scale: 1/4" = 1'



DRAWINGS PROVIDED BY:
Pendium Group, LLC
4265 Duck Club Rd. Ravenel, SC 29470
o. 843.405.7055 | f. 888.887.5076 | pendium.com

THIS ARCHITECTURAL
DRAWING AND DESIGN
DRAWINGS, AS AN
INSTRUMENT OF SERVICE,
ARE PROTECTED UNDER U.S.
GOVERNMENT COPYRIGHT
LEGISLATION.
© Copyright 2020



Custom Design Home For:
Tony & Elisa Stanfield
Lot 27 -The Peninsula at Poplar Grove
4021 Bulow Landing Road
Ravenel, SC 29470

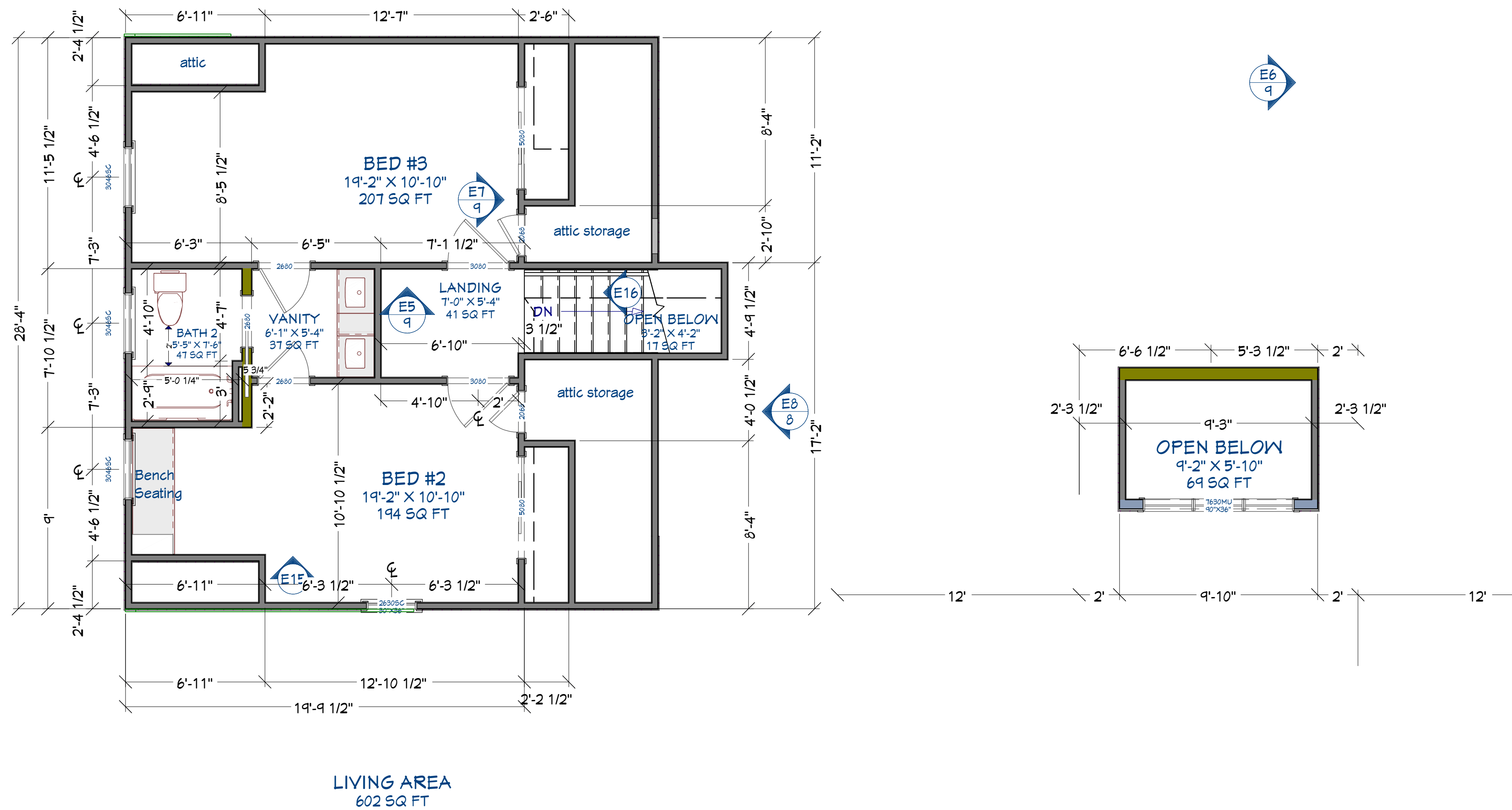
Number	Date	Revision	Description
1	7/2/25	JTY	Per Dorchester Co. Comments

First Floor Plan

DATE:
7/2/2025

SHEET:

A2



GENERAL NOTES AND SPECIFICATIONS

DESIGN CRITERIA:
2021 International Building Code with SC modifications
2021 International Fire Code with SC modifications
2021 International Plumbing Code
2021 International Mechanical Code with SC modifications
2021 International Fuel Gas Code with SC modifications
2009 South Carolina Energy Conservation Code
2020 National Electrical Code (NFPA 70) with SC modifications
2017 A117.1 ANSI

Windborne Debris Protection: Glazing shall be impact resistant or protected with an impact-resistant covering meeting the South Carolina Residential Building Code requirements of an approved impact-resistant standard meeting ASTM E1996 and ASTM E1886.

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH ALL STATE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

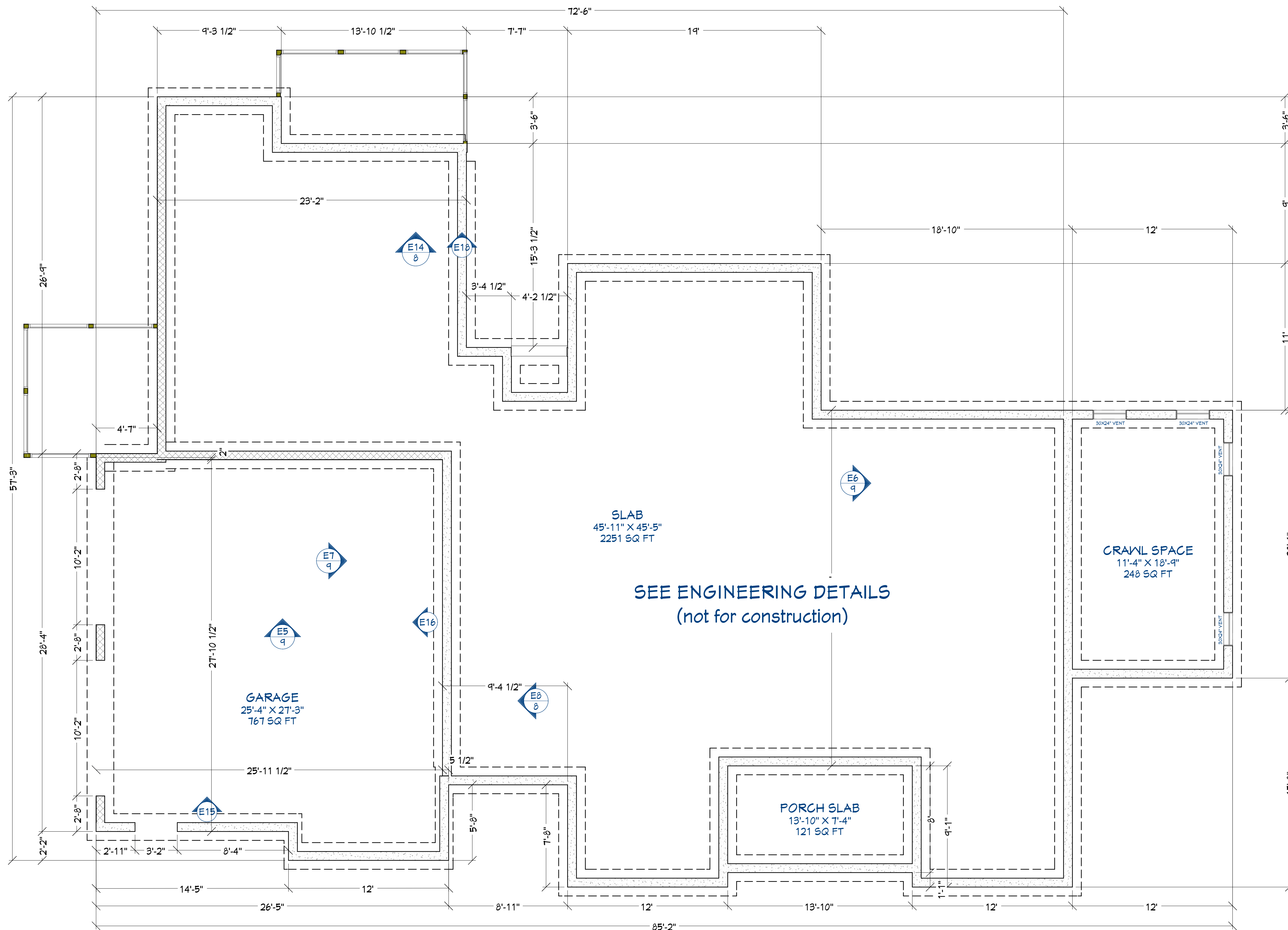
FRAMING NOTES:

ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FRAMING, ROUGH OPENING.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

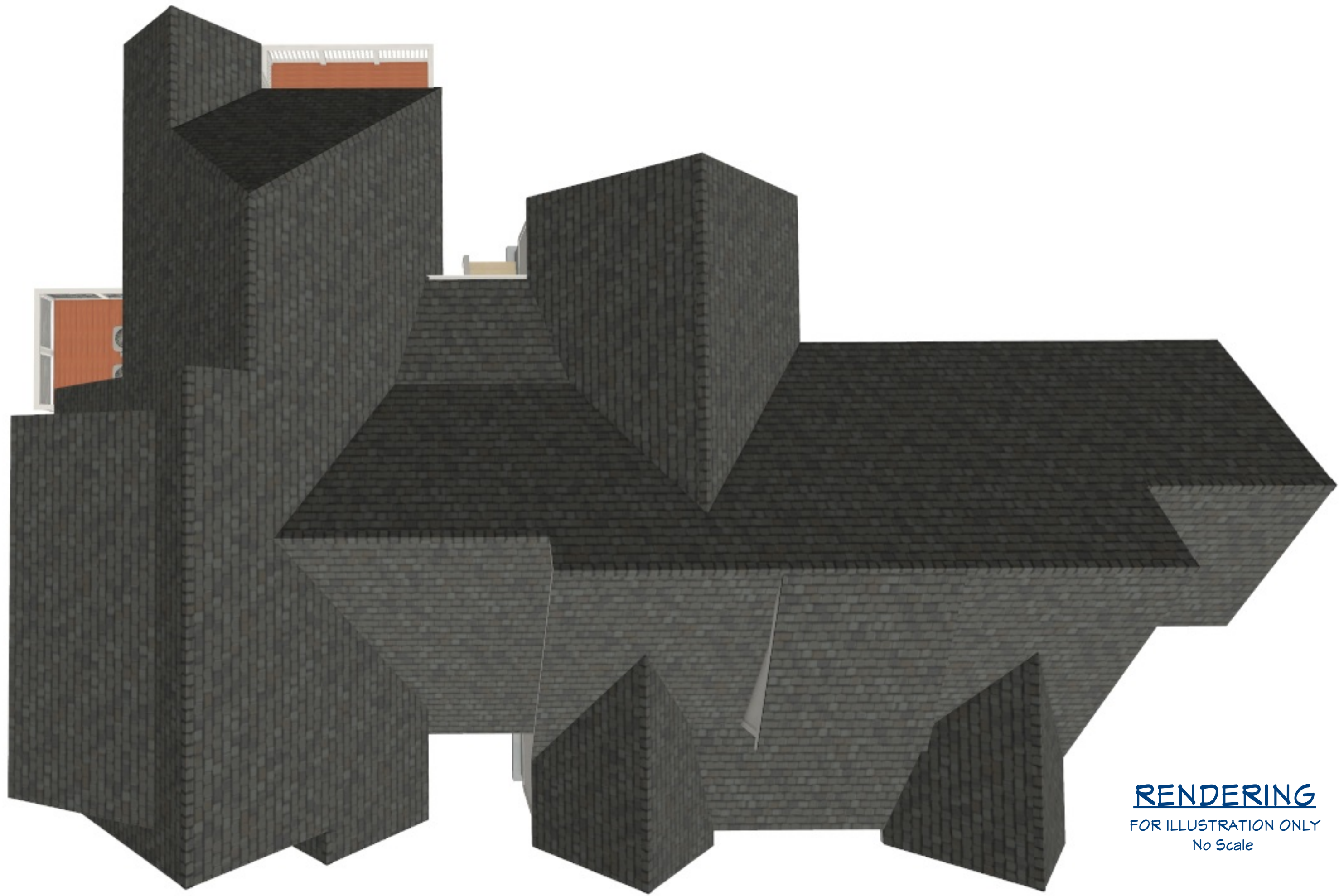
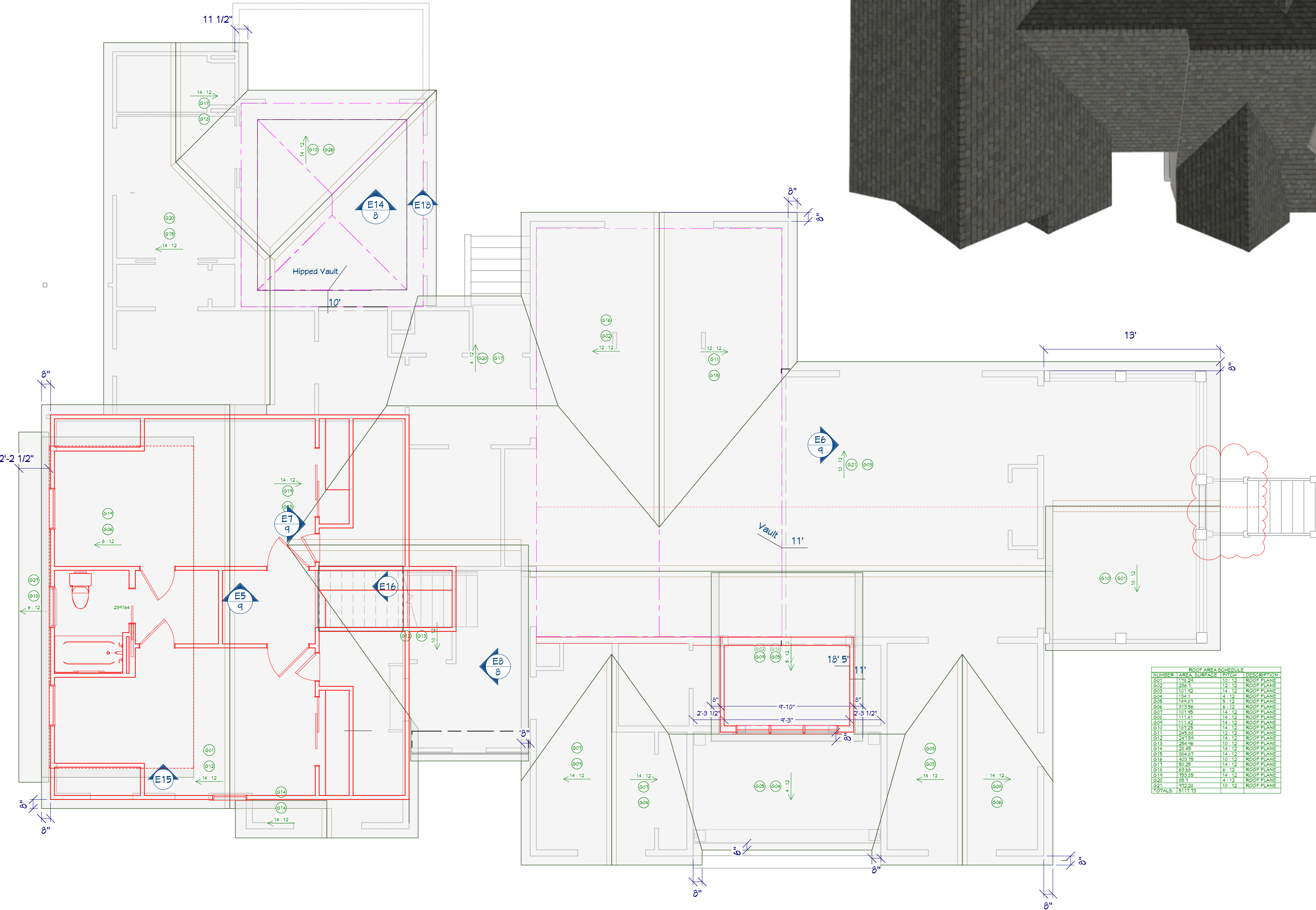
PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

Revision Table		Revised By	Description
Number	Date		



FRAMING NOTES:
ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FRAMING, ROUGH OPENING.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

Revision Table	
Number	Revised By/Description



RENDERING
FOR ILLUSTRATION ONLY
No Scale

ROOF AREA SCHEDULE			
NUMBER	AREA	SURFACE	DESCRIPTION
E01	173.24	12:12	ROOF PLANE
E02	286.1	12:12	ROOF PLANE
E03	101.92	14:12	ROOF PLANE
E04	124.1	8:12	ROOF PLANE
E05	124.91	8:12	ROOF PLANE
E06	313.96	8:12	ROOF PLANE
E07	101.85	14:12	ROOF PLANE
E08	111.41	14:12	ROOF PLANE
E09	111.42	10:12	ROOF PLANE
E10	151.25	14:12	ROOF PLANE
E11	245.65	14:12	ROOF PLANE
E12	241.91	14:12	ROOF PLANE
E13	294.98	10:12	ROOF PLANE
E14	25.45	14:12	ROOF PLANE
E15	354.11	14:12	ROOF PLANE
E16	403.15	10:12	ROOF PLANE
E17	50.28	14:12	ROOF PLANE
E18	63.65	8:12	ROOF PLANE
E19	79.35	14:12	ROOF PLANE
E20	85	4:12	ROOF PLANE
E21	173.24	10:12	ROOF PLANE
TOTALS:	3111.76		

Roof Plan
Scale: 1/4" = 1'



DRAWINGS PROVIDED BY:
Pendium Group, LLC
4265 Duck Club Rd. Ravenel, SC 29470
o. 843.405.7055 | f. 888.887.5076 | pendium.com

THIS ARCHITECTURAL
DRAWING AND DESIGN
DRAWINGS, AS AN
INSTRUMENT OF SERVICE,
ARE PROTECTED UNDER U.S.
GOVERNMENT COPYRIGHT
LEGISLATION.
© Copyright 2020



Custom Design Home For:
Tony & Elisa Stanfield
Lot 27 -The Peninsula at Poplar Grove
4021 Bulow Landing Road
Ravenel, SC 29470

Revision Table	
Number	Date

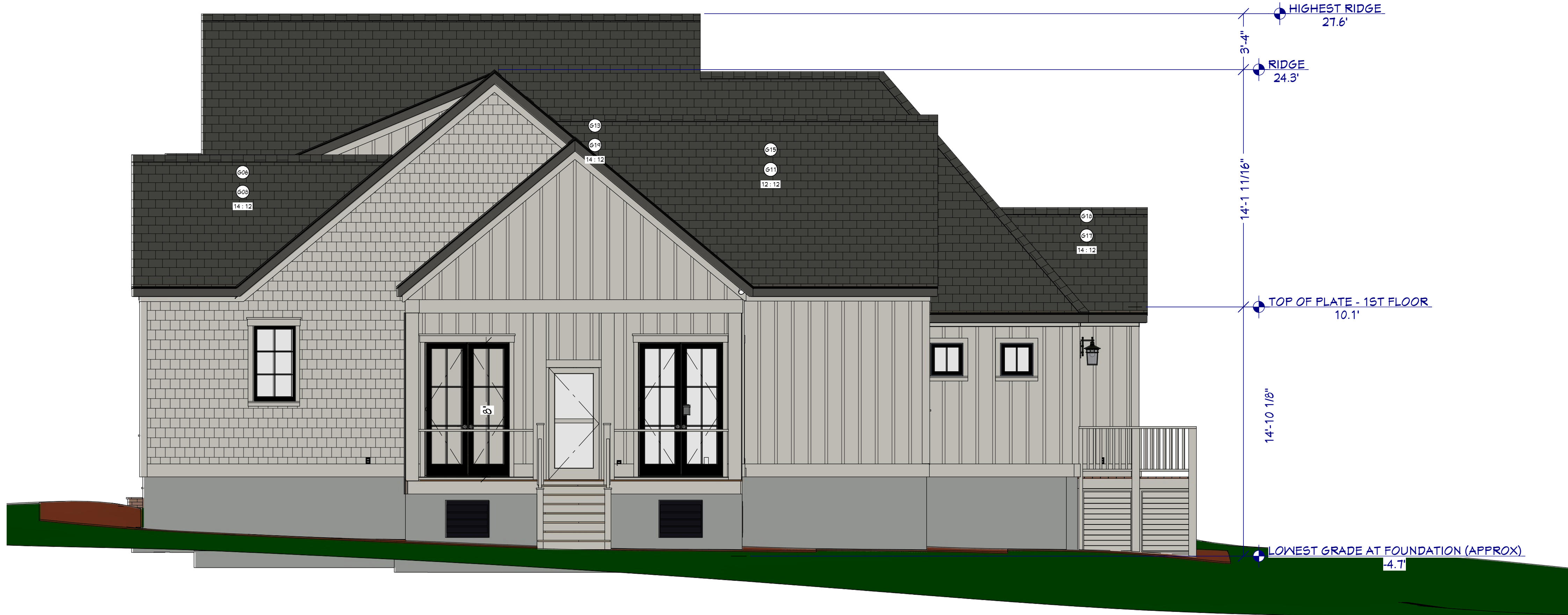
Roof Plan

DATE:
7/2/2025

SHEET:

A5





Right Elevation
Scale: 1/4" = 1'



Left Elevation
Scale: 1/4" = 1'



DRAWINGS PROVIDED BY:
Pendium Group, LLC
4265 Duck Club Rd. - Ravenel, SC 29470
o. 843.405.7055 | f. 888.887.5076 | pendium.com

THIS ARCHITECTURAL
DRAWING AND DESIGN
DRAWINGS, AS AN
INSTRUMENT OF SERVICE,
ARE PROTECTED UNDER U.S.
GOVERNMENT COPYRIGHT
LEGISLATION.
© Copyright 2020



Custom Design Home For:
Tony & Elisa Stanfield
Lot 27 - The Peninsula at Poplar Grove
4021 Bulow Landing Road
Ravenel, SC 29470

Revision Table		Revised By	Description
Number	Date		

Exterior
Elevations

DATE:
7/2/2025

SHEET:

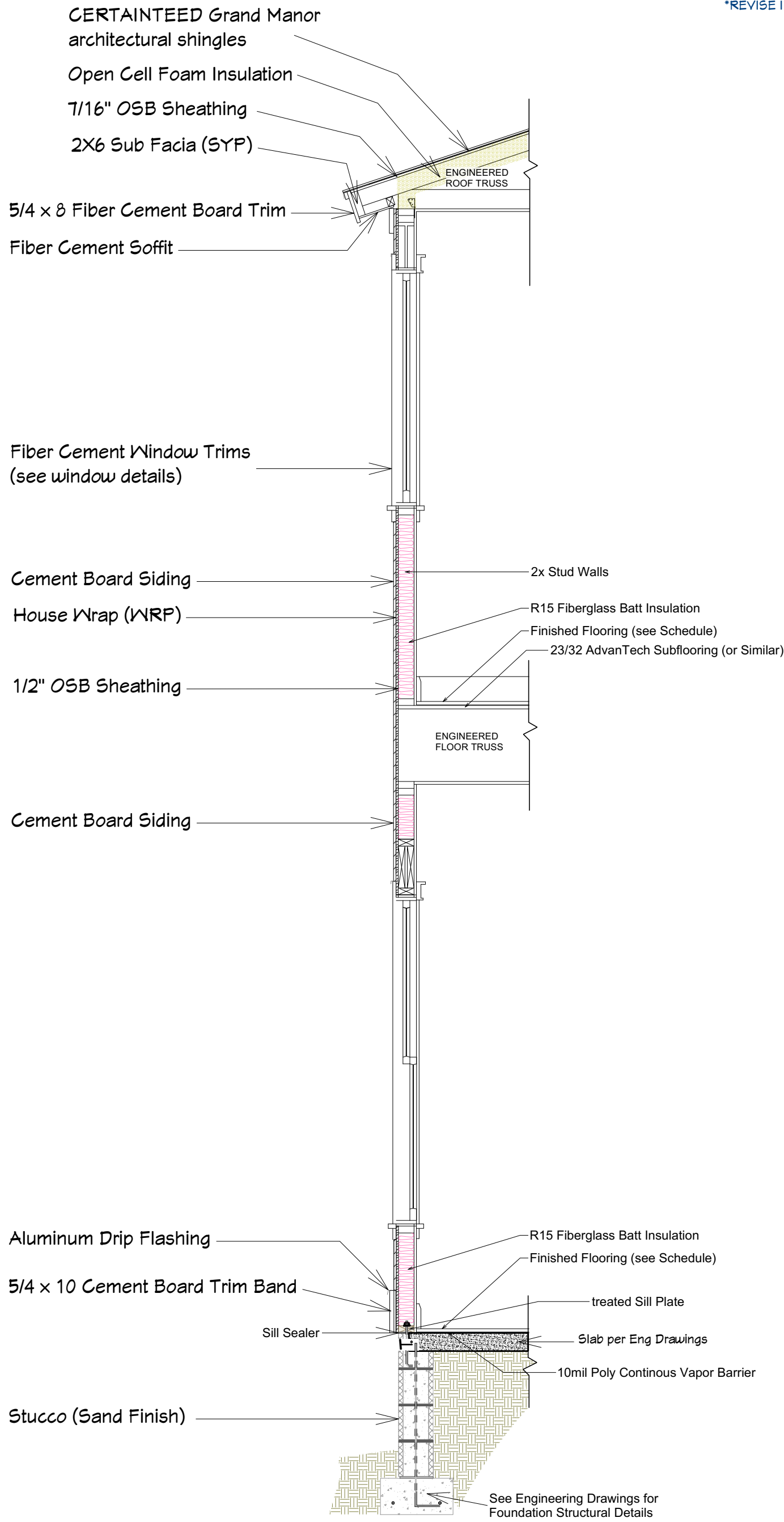
A7



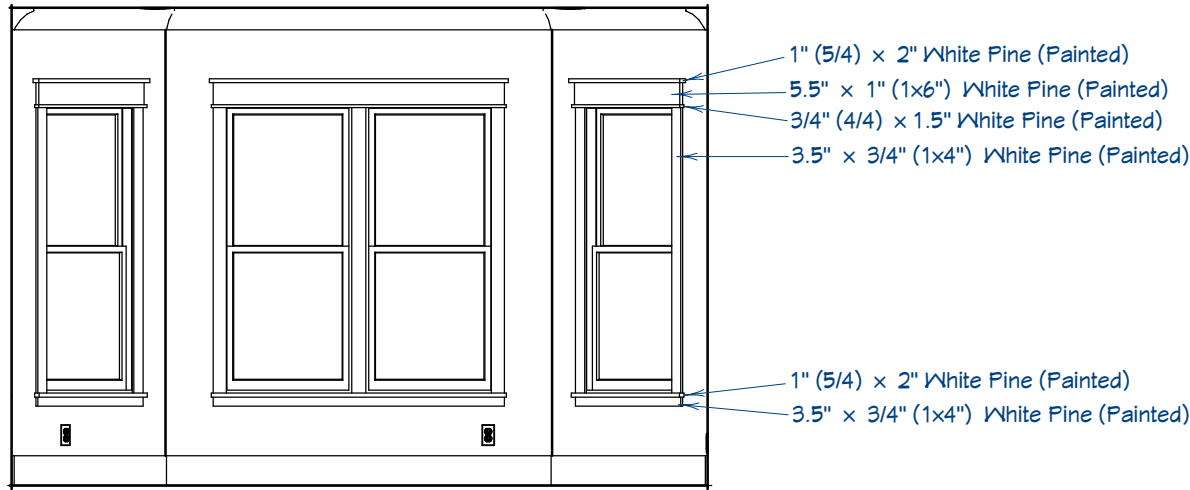
- 1) PREPARE ROUGH OPENING: CUT STND. "I-CUT" IN THE WRB. CUT (2) 45° SLITS AT TOP TO CREATE FLAP. APPLY FLEXIBLE FLASHING AT SILL + 6" MIN. UP JAMBS. SECURE FLEXED EDGE OF FLASHING WITH MECHANICAL FASTENERS.
- 2) INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.
- 3) APPLY FLASHING TAPE AT JAMBS, EXTENDING 1" ABOVE AND BELOW WINDOW HEAD FLANGE AND BOTTOM OF SILL FLASHING. APPLY FLASHING TAPE ALONG HEAD, EXTENDING BEYOND OUTER EDGES OF JAMB FLASHING.
- 4) REPLACE WRB FLAP AT HEAD AND TAPE REMAINING CUTS IN WRB

*REVISE INSTALLATION PROCESS ACCORDING TO WINDOW MANUFACTURER'S INSTRUCTIONS

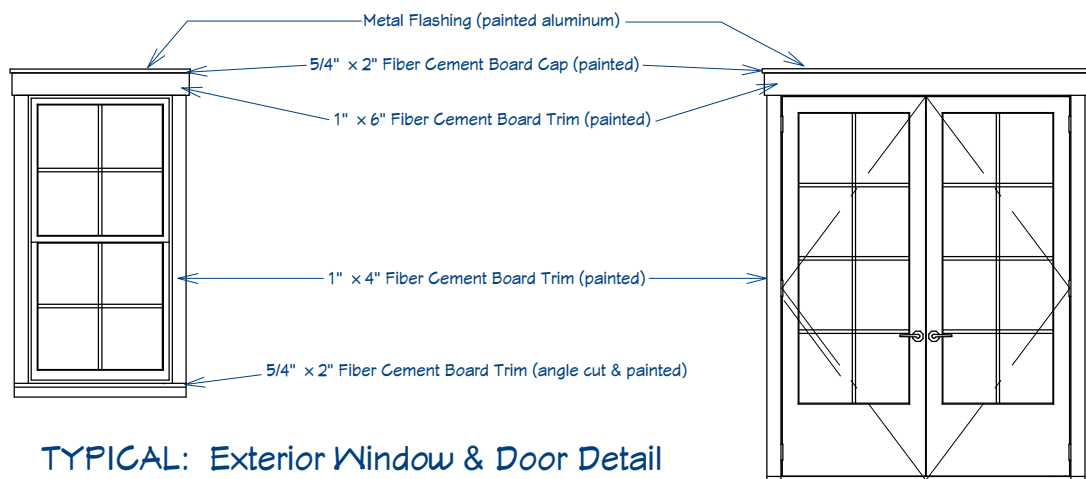
Window Flashing Detail



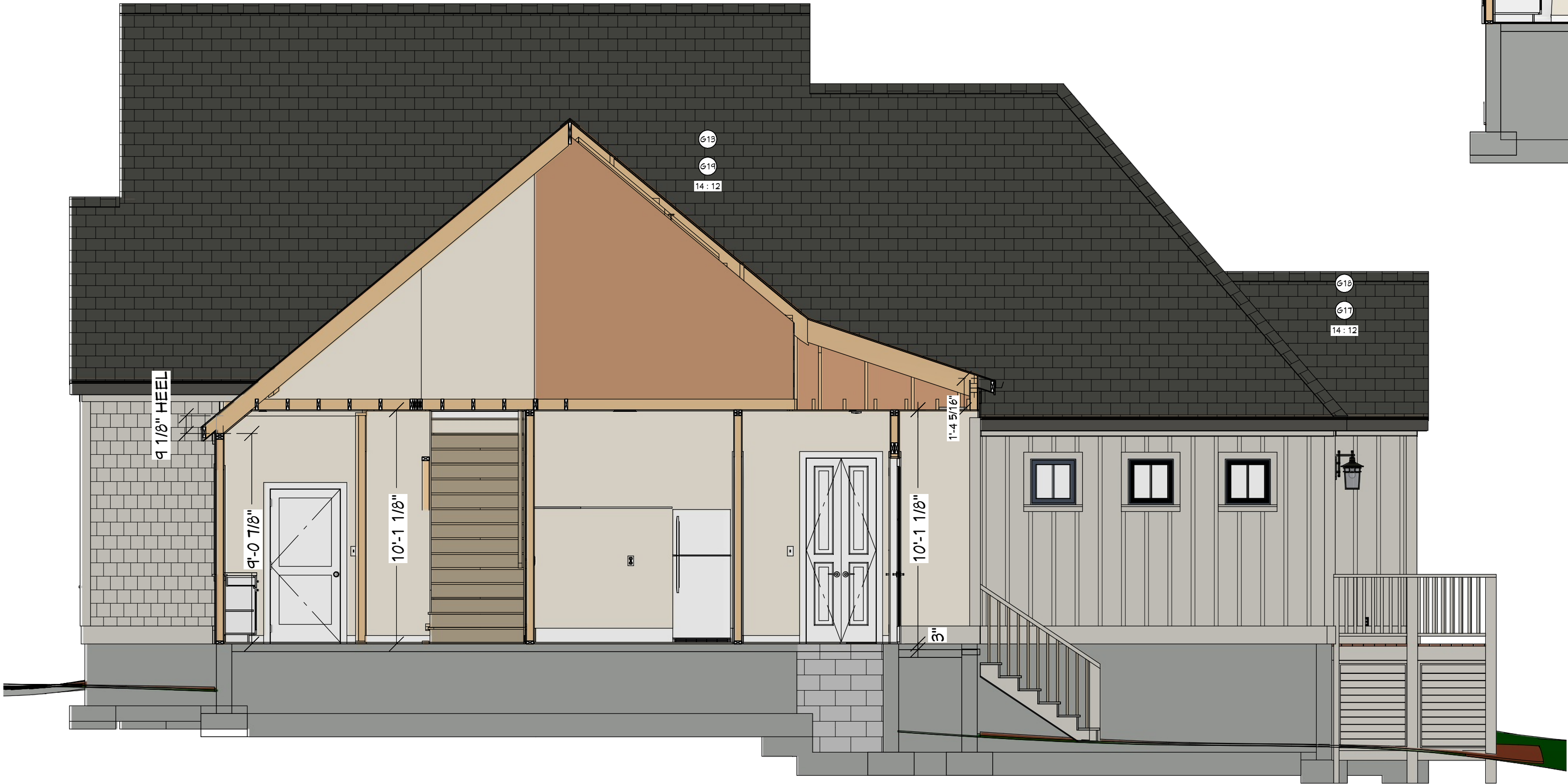
Wall Details (typical)



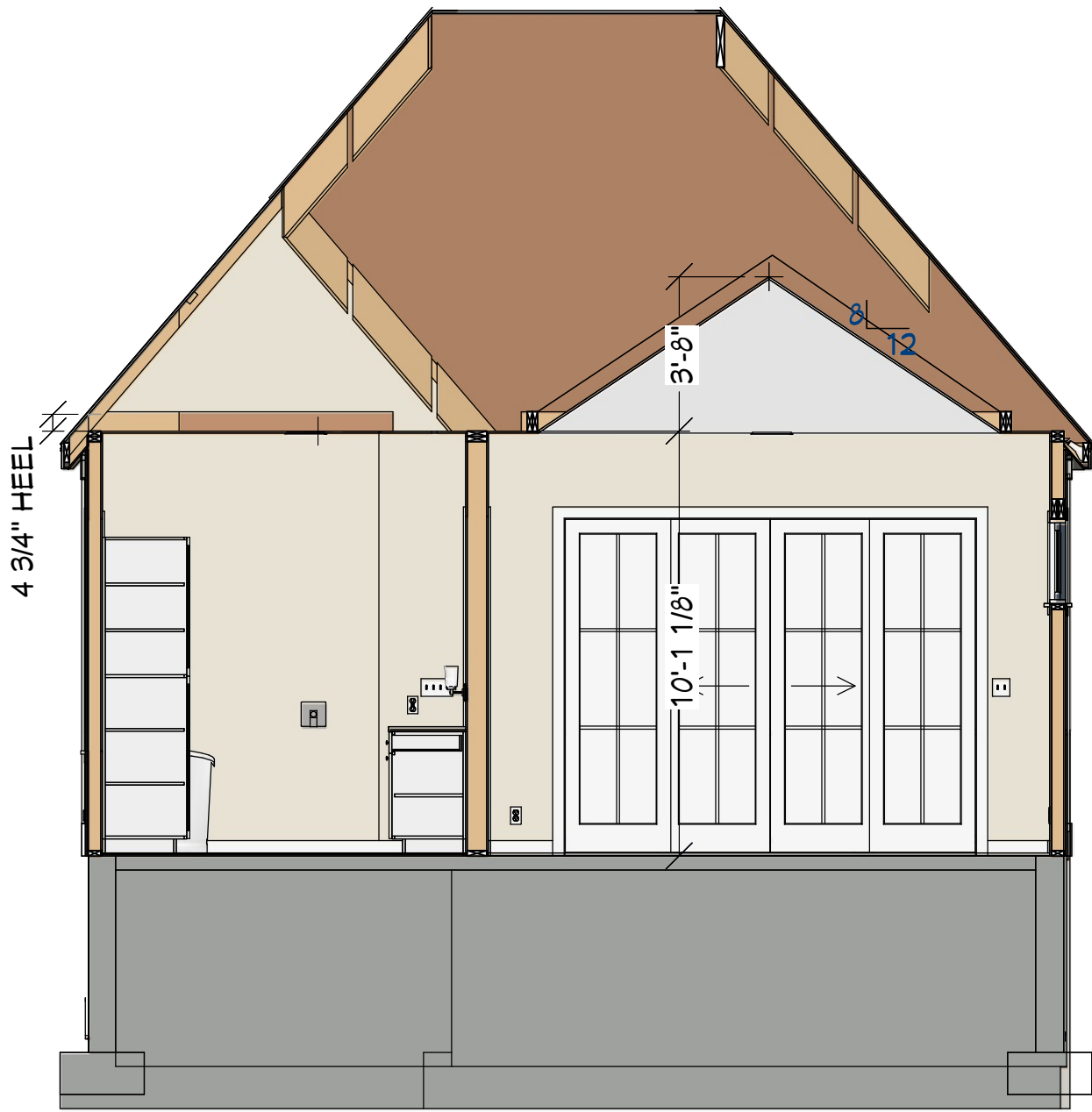
TYPICAL: Interior Window & Door Detail
Scale: 1/4" = 1"



TYPICAL: Exterior Window & Door Detail
Scale: 1/4" = 1"



E6 Garage Entry & Rear Entry
1/4 in = 1 ft

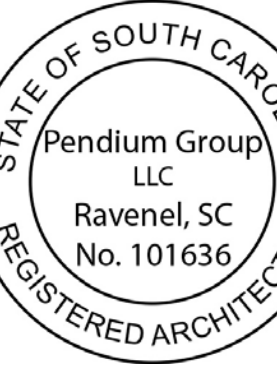


E14 Master Tray/Vault
1/4 in = 1 ft



DRAWINGS PROVIDED BY:
Pendium Group, LLC
4265 Duck Club Rd. Ravenel, SC 29470
o. 843.405.7055 | f. 888.887.5076 | pendium.com

THIS ARCHITECTURAL
DRAWING AND DESIGN
DRAWINGS, AS AN
INSTRUMENT OF SERVICE,
ARE PROTECTED UNDER U.S.
GOVERNMENT COPYRIGHT
LEGISLATION.
© Copyright 2020



Custom Design Home For:
Tony & Elisa Stanfield
Lot 27 -The Peninsula at Poplar Grove
4021 Bulow Landing Road
Ravenel, SC 29470

Revision Table	
Number	Date

Details &
Sections

DATE:
7/2/2025

SHEET:

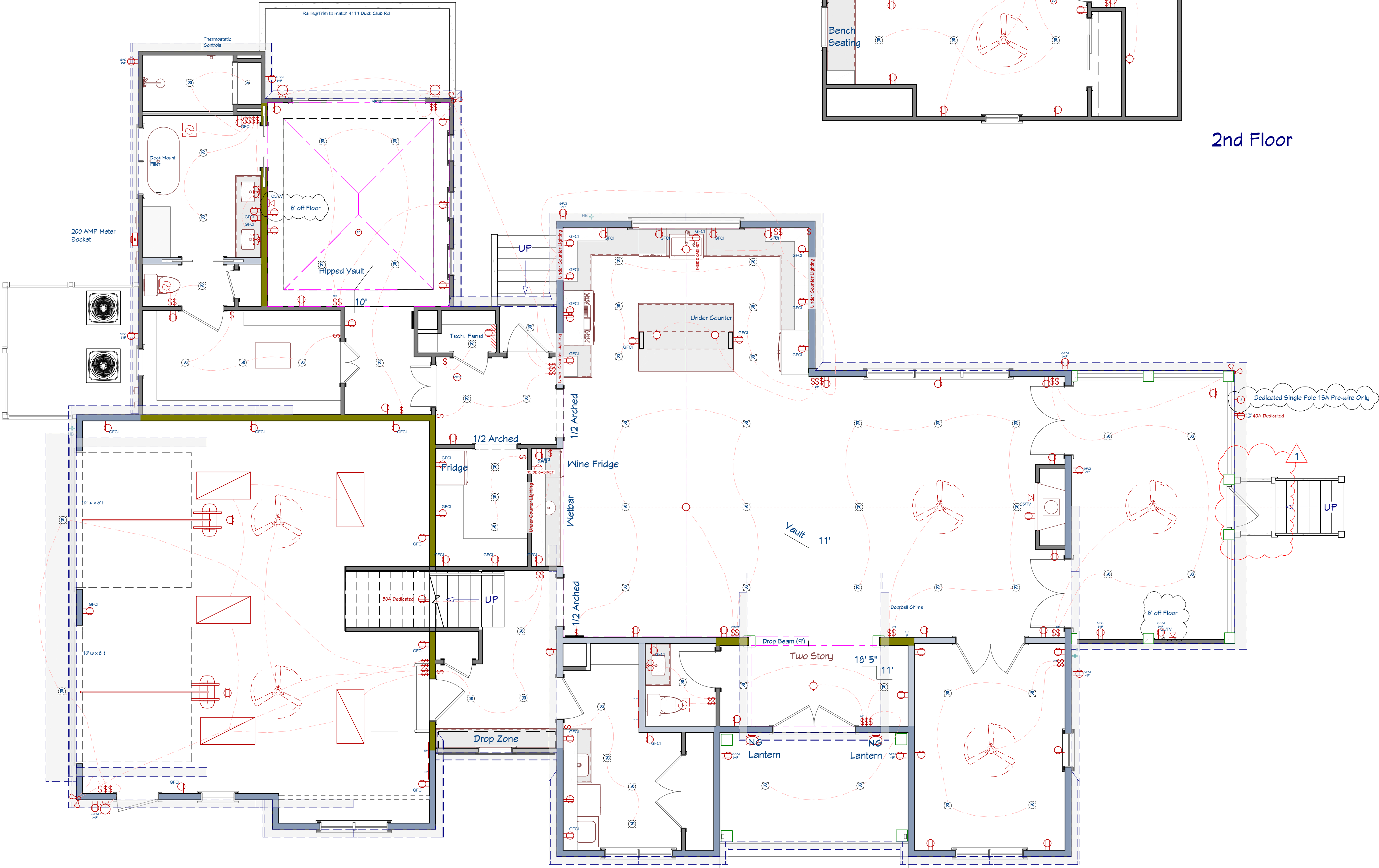
A8

ELECTRICAL NOTES:

- 1. PROVIDE MIN. 200 AMP SERVICE TO MAIN PANEL.
- 2. ALL APPLIANCES & UTILITIES TO HAVE DEDICATED CIRCUITS. SEE MFG'S SPECS. FOR REQUIREMENTS
- 3. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS
- 4. ALL BEDROOM OUTLETS AND LIGHTS BE ARCH FAULT PROTECTED
- 5. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
- 6. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
- 7. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
- 8. FIXTURES TO BE SELECTED BY HOME OWNER.
- 9. UNO - ALL SWITCHES TO BE 48" O/C ASF. OUTLETS TO BE 15" O/C ASF. OUTLETS OVER COUNTERTOPS TO BE 3" ABOVE COUNTER FROM BOTTOM. (ASF = ABOVE SUBFLOOR)
- 10. ALL LIGHTING SHALL BE DIMABLE AND USE LED BULBS, UNO.
- 11. ALL RECESSED CANS TO BE IC AIR TIGHT (ICAT)

DATA / CABLE:

LOCATE SECURITY, MEDIA & DATA PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.



1st Floor

2nd Floor

Electrical Plan
Scale: 1" = 1/4"

DRAWINGS PROVIDED BY:
Pendium Group, LLC
4265 Duck Club Rd. Ravenel, SC 29470
o. 843.405.7055 | f. 888.887.5076 | pendium.com

THIS ARCHITECTURAL DRAWING AND DESIGN DRAWINGS, AS AN INSTRUMENT OF SERVICE, ARE PROTECTED UNDER U.S. GOVERNMENT COPYRIGHT LEGISLATION.
© Copyright 2020

STATE OF SOUTH CAROLINA
Pendium Group, LLC
Ravenel, SC
No. 101636
REGISTERED ARCHITECTS

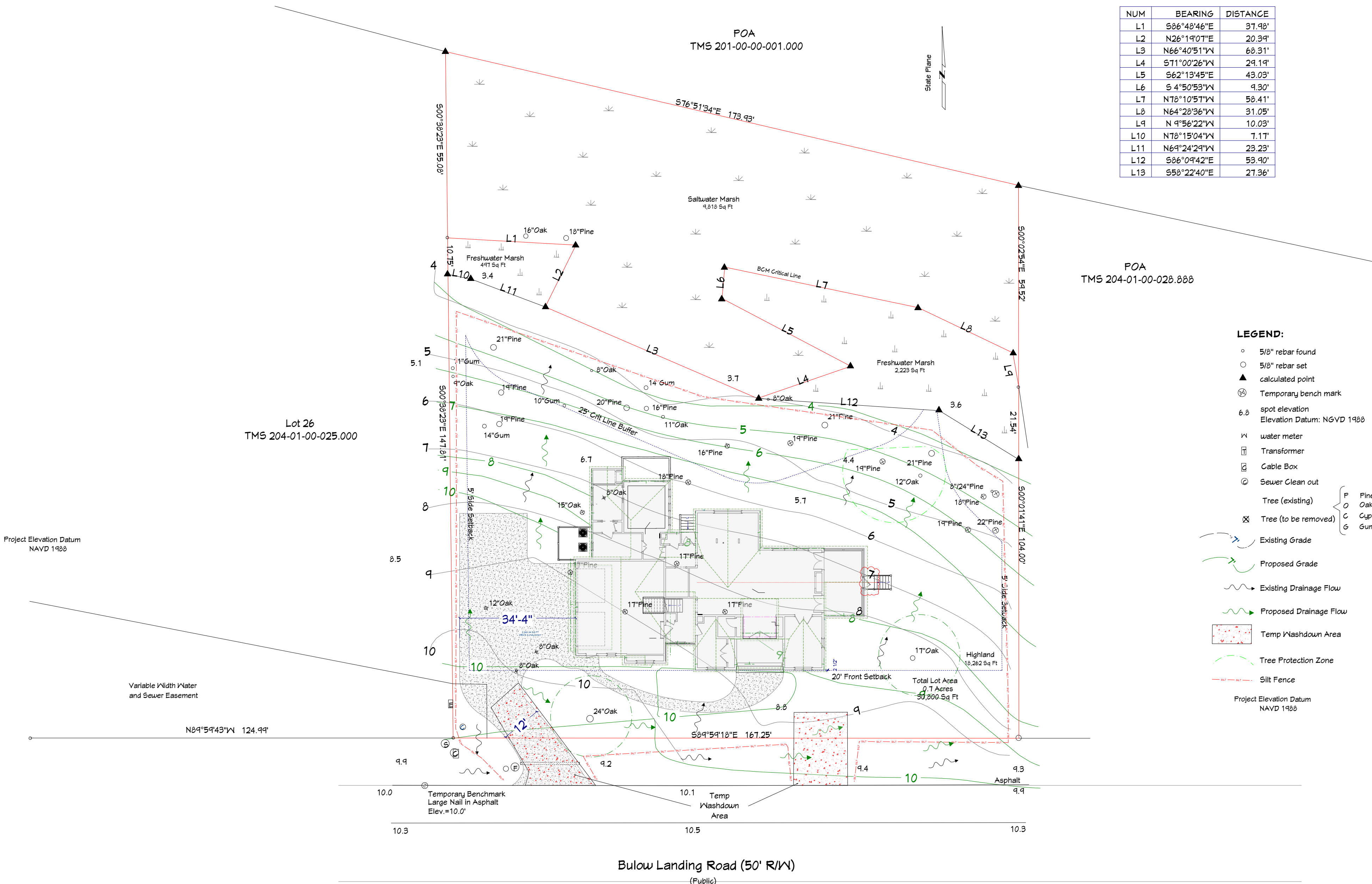
Custom Design Home For:
Tony & Elisa Stanfield
Lot 27 -The Peninsula at Poplar Grove
4021 Bulow Landing Road
Ravenel, SC 29470

Revision Table	Number	Date	Description	Revised By	Comments
1	7/2/2025	JTYNS	Porchester Co.		

Electrical Plan

DATE:
7/2/2025

SHEET:
A10



NUM	BEARING	DISTANCE
L1	S86°48'46"E	37.98'
L2	N26°19'07"E	20.39'
L3	N66°40'51"N	68.31'
L4	S71°00'26"W	24.14'
L5	S62°13'45"E	43.03'
L6	S4°50'53"W	9.30'
L7	N78°10'57"N	58.41'
L8	N64°28'36"W	31.05'
L9	N4°56'22"W	10.03'
L10	N78°15'04"N	7.17'
L11	N64°24'29"N	23.23'
L12	S66°09'42"E	53.40'
L13	S55°22'40"E	27.36'

LEGEND

- 5/8" rebar found
- 5/8" rebar set
- ▲ calculated point
- Temporary bench mark
- 6.8 spot elevation
- Elevation Datum: NGVD 1988
- W water meter
- T Transformer
- C Cable Box
- ② Sewer Clean out
- Tree (existing)
- ✕ Tree (to be removed)
- Existing Grade
- Proposed Grade
- Existing Drainage Flow
- Proposed Drainage Flow
- Temp Washdown Area
- Tree Protection Zone
- Silt Fence
- Projected Elevation Datum
NAVD 1988

DRAWINGS PROVIDED BY:

Pendium Group, LLC
4265 Duck Club Rd., Ravenel, SC 29470
o. 843.405.7055 | f. 888.887.5076 | Pendium.com



THIS ARCHITECTURAL
DRAWING AND DESIGN
DRAWINGS, AS AN
INSTRUMENT OF SERVICE,
ARE PROTECTED UNDER U.S.
GOVERNMENT COPYRIGHT
LEGISLATION.
© Copyright 2020



Custom Design Home For:
Tony & Elisa Stanfield
Lot 27 - The Peninsula at Poplar Grove
4021Bulow Landing Road
Ravanel, SC 29470

[illegible]

Site Plan Tree Protection & Drainage

DATE:
7/2/2025

SHEET:

A11

Plot Plan, Tree Protection/Removal & Proposed Drainage Plan

Scale: 1' = 20'