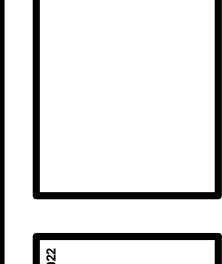
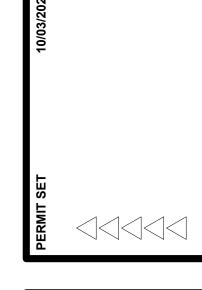


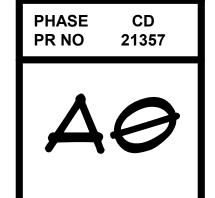
Revenel Welzh Residence

100 FARMFIELD AVENUE









	ABBREVIATIONS:						
ABY AFF	ABOVE ABOVE FINISHED FLOOR	GA GALV	GAGE, GAUGE GALVANIZED	QΤ	QUARRY TILE		
ASC	ABOVE SUSPENDED CEILING	GALV GI GP			RADIUS REDWOOD		
ACC AP	ACCESS PANEL	GSS	GALVANIZED STEEL SHEET	REF	REFERENCE		
ACT	ACOUSTICAL PANEL	GC GL	GENERAL CONTRACTOR GLASS, GLAZING	REFR REG	REFRIGERATOR REGISTER		
	ADHESIVE ADJACENT	GLB	GLASS BLOCK	REINF	REINFORCE (D), (INC		
ADJT	ADJUSTABLE AGGREGATE	GLF GB	GRAB BAR	RCP	REINFORCED CONCRETE PIPE		
A/C	AIR CONDITIONING	GD GYL			RESILIENT		
	ALTERNATE ALUMINUM	GT	GROUT	RET RA	RETURN AIR		
AB	ANCHOR BOLT	GYP	GYPSUM DRY WALL	REV RH	REVISION (S) RIGHT HAND		
	ANODIZED APPROXIMATE			ROW	RIGHT OF WAY		
	AREA DRAIN ASPHALT	HDW	HARDB <i>o</i> ard Hardware	R RD	RISER ROOF DRAIN		
	ASPHALT TILE		HARDWOOD HEADER	RFG	ROOFING		
AUTO	AUTOMATIC	HTG	HEATING	RM RSC	ROOM ROUGH SAWN CED		
BSMT	BASEMENT	HVAC	HEATING/VENTILATING/ AIR CONDITIONING	RLK	ROWLOCK		
BRG	BEARING	HT	HEIGHT	e r cl	SAFETY GLASS		
	BEARING PLATE BENCH MARK	HC HM	HOLLLOW CORE HOLLOW METAL	SCH	SCHEDULE		
	BETWEEN BEVELED	HOR HB	HORIZONTAL HOSE BIBB	SCN STG	SCREEN SEATING		
BIT	BITUMINOUS	.,,		SECT	SECTION		
BLK BLKG	BLOCK BLOCKING	INCIN	INCINERATOR	SSD	SEE STRUCTURAL DRAWINGS		
BD BS	BOARD BOTH SIDES	INCL ID	INCLUDE (D), (ING) INSIDE DIAMETER	SHTG SHT	SHEATHING SHEET		
BW	BOTH WAYS	INSU	INSULATE (D), (ING)	SG	SHEET GLASS		
	BOTTOM BRICK	INT INTM	INTERIOR INTERMEDIATE	SH SIM	SHELF, SHELVING SIMILAR		
BR7	BRONGE	INIV	INIVERT	SLDC	SOLDIER COURSE		
BUR	BUILDING BUILT UP ROOFING	IP IPS	IRON PIPE IRON PIPE SIZE	SP	SOUNDPROOF		
				S SPK	50UTH SPEAKER		
CAB	CABINET	JC	JANITOR'S CLOSET	SPL	SPECIAL SPECIAL (2)		
CSMT	CASEMENT	J† J ⊨	JOINT JOINT FILLER	SCEC SQ	SQUARE		
CIPC	CAST IRON CAST-IN-PLACE CONCRETE	JST	JOIST	SS	STAINLESS STEEL		
CST	CAST STONE			STA	STATION		
CB CLG	CATCH BASIN CEILING	K I+	KITCHEN	STL STOR	STEEL STORAGE		
CHT	CEILING HEIGHT	KO	KNOCKOUT	SD	STORM DRAIN		
CEM CM	CENTIMETER(6)	LBL	IRON PIPE IRON PIPE SIZE JANITOR'S CLOSET JOINT JOINT FILLER JOIST KITCHEN KNOCKOUT LABEL LABORATORY LAG BOLT LAMINATE (ED) LAYATORY	SIRT	STRUCTURAL STRUCTURAL CLA		
CER CT	CERAMIC TILE	LAB	LABORATORY	GILED	TILE		
CMT	CERAMIC MOSAIC (TILE)	LAM	LAMINATE (ED)	SYS	SYSTEM		
CHAM CIR	CERAMIC MODAIC (TILE) CHAMFER CIRCLE CLEAR (ANCE) COLUMN COMBINATION CONCRETE	LAV	LAVATORY LEFT HAND LENGTH LIGHT LIGHTWEIGHT LIGHTWEIGHT CONCRETE LIMESTONE				
CLR	CLEAR (ANCE)	L	LENGTH	TEL	TELEPHONE		
COL	COLUMN COMBINATION	L† LW	LIGHT LIGHTWEIGHT	T∨ THK	TELEVISION THICK (NESS)		
CONC	CONCRETE CONCRETE MASONRY UNIT	LWC	LIGHTWEIGHT CONCRETE	THR	THRESHOLD		
CONST	CONSTRUCTION	LMS LTL	LINTEL	TPD	TOILET PARTITION TOILET PAPER		
CONTR	CONTINUOUS OR CONTINUE		LIVE LOAD	TOL.	DISPENSER TOLERANCE		
CLL	CONTRACT LIMIT LINE	LPT	LOW POINT	T\$G	TONGUE \$ GROOVE		
CG	CONTROL JOINT CORNER GUARD			TC TG	TOP OF CURB TOP OF GRADE		
CORR	CORRUGATED	MLI	LIMESTONE LINTEL LIVE LOAD LOUVER LOW POINT	TG TP	TOP OF PAVEMENT		
CRS	COURSE (S)	MFR	MANUFACTURE (ER)	TSL TS	TOP OF SLAB TOP OF STEEL		
CF CY	CUBIC FOOT CUBIC YARD	MAS MO	MASONRY OPENING	TW TB	TOP OF WALL		
- 1	JUDIO I MIND	MTL	MATERIAL (6)	TB TBD	TOWEL BAR TO BE DETERMINED		
		MECH	MECHANIC (AL)	T TYP	TREAD TYPICAL		
DP DI	DAMPPROOFING DEAD LOAD	MC	MANHOLE MANUFACTURE (ER) MAGONRY MAGONRY OPENING MATERIAL (9) MAXIMUM MECHANIC (AL) MEDICINE CABINET MEDIUM MEMBER	ПГ			
DEMO	DEMOLISH, DEMOLITION	MBR	MEMBER MEMBRANE	UNFIN	UNFINISHED		
DTI		M⊢T	MEMBRANE METAL	UR	URINAL		
DIAG	DIAGONAL DIAMETER	M MM		VB	VAPOR BARRIER		
DIM	DIMENSION	MIN	MINIMUM	YNK	YENEER		
DIY DR	DIVISION DOOR	MIR MISC	MIRROR MISCELLANEOUS		VERTICAL VERTICAL GRAIN		
DA	DOUBLEACTING	MOD	MODULAR	VIF	VERIFY IN FIELD		
DH DS	DIMENSION DIVISION DOOR DOUBLEACTING DOUBLE HUNG DOWNSPOUT DRAIN DRAWER DRINKING FOUNTAIN DISUITING	MR	MOP RECEPTOR		VINYL VINYL BASE		
	DRAIN DRAWER	MT	MOUNT (ED), (ING)	ΥŤ	VINYL TILE		
DE	DRINKING FOUNTAIN	MULL	MULLION	WGCT	III AINIGC OT		
DW	DISHWASHER			WTW	WAINSCOT WALL TO WALL		
= ^	EACH			WH	WALL HUNG WATER HEATER		
EA EF	EACH FACE	NAT NRC	NATURAL NOISE REDUCTION COEFFICIEANT	WC .	WATER CLOSET		
E ELEG	EAST ELECTRIC (AL)		COEFFICIEANT	WP WR	WATERPROOFING WATER REPELLENT		
EP	ELECTRIC PANELBOARD	NOM NMT		WS WWF	WATERSTOP WELDED WIRE FAB		
EWC	ELECTRIC WATER COOLER ELEVATION	Ν	NORTH		WEST		
ELEV	ELEVATOR EMERGENCY	NIC NTS	NOT TO SCALE	W WDW	WIDTH, WIDE WINDOW		
EQ	EMERGENCY EQUAL			WG	WIRED GLASS		
EST EXCA	EQUAL ESTIMATE EXCAVATE	oc	ON CENTER (6)	WM W/O	WIRE MESH WITHOUT		
EXH	EXHAUS I		OPPOSITE	WD WB	WOOD BASE		
EXTG	EXISTING EXPANSION BOLT	OPH	OPPOSITE HAND	WB WPT	WORKING POINT		
EXP FYT	EXPANSION BOLT EXPOSED EXTERIOR	ops od	OPPOSITE HAND OPPOSITE SURFACE OUTSIDE DIAMETER	WI	WROUGHT IRON		
EXT	EXTERIOR EXTRA STRONG	OA	OVERALL				
		OH	OVERHEAD				
FB	FACE BRICK	-	DAINH (FF)				
FOC FOF	FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY	PNI PNL	MAINT (ED) PANEL				
FOM	FACE OF MASONRY	PB	PANIC BAR				
F <i>O</i> S FF	FACE OF ITIASONRY FACE OF STUDS FACTORY FINISH FASTEN, FASTENER FIBERBOARD FIBERGLASS FINISH (ED) FINISHED FLOOR ELEVATION	PTR	PEPER TOWEL DISPENSER PAPER TOWEL RECEPTOR PARALLEL				
FAS FBD	FASTEN, FASTENER FIBERBOARD	PAR	PARALLEL PARKING				
FGL	FIBERGLASS	PBD	PARTICLE BOARD				
FIN FFE	FINISH (ED) FINISHED FLOOR ELEVATION	PTN PV	MARTITION PAVE (D). (ING)				
FFL EA	FINISHED FLOOR LINE FIRE ALARM FIRE BRICK	PVMT	PAVEMENT				
FA FBRK	FIRE ALARM FIRE BRICK						
FE FEC	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	PERI	PERIMETER PLASTER				
FHS	FIRE HOSE STATION	P.L.	PLASTIC LAMINATE				
FPL FP	FIREPLACE FIREPROOF	PL PG	PLATE PLATE GLASS				
FRT	FIRE-RETARDANT	PW	PLW00D				
FLG	FLASHING FLEXIBLE	PT PVC	PRESSURE TREATED POLYVINYL CHLORIDE				
FL.X	FLOOR (ING)	PTC	POST-TENSIONED				
FLX FLR	FLOOR CLEANOUT FLOOR DRAIN	PCF	CONCRETE POUNDS PER CUBIC FOOT				
FLR	FLOOR PLATE	PLF	POUNDS PER LINEAL FOOT				
FLR FLCO FD FPL	FLUORESCENT	PSF PSI	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH				
FLR FLCO FD FPL FLUR FTG	FOOTING						
FLR FLCO FD FPL FLUR FTG FND	FOOTING FOUNDATION	PCC					
FLR FLC FD FLUR FLUG FT FR FR FR	FOOTING FOUNDATION FRAME (D), (ING) FREASH AIR	PCC PFB PFN	PREFABRICATE (D) PREFINISHED				
FLCO FDL FLUR FLUG FND FR	FOOTING FOUNDATION FRAME (D), (ING)	PCC PFB	PREFABRICATE (D)				
FLC LRGD A FLDPHHFSFRRFF	FOOTING FOUNDATION FRAME (D), (ING) FREASH AIR FULL SIZE	PCC PFB PFN PSC	PREFABRICATE (D) PREFINISHED PRESTRESSED CONCRETE				

GENERAL NOTES:

I. IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF

2. WHEN WORK IS NOT SPECIFICALLY NOTED BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

3. THE DOCUMENTS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE OBTAINED FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK IMMEDIATELY UPON DISCOVERY OF THE NEED FOR ADDITIONAL INFORMATION, CLARIFICATION, OR INTERPRETATION OF THE CONTRACT DOCUMENTS, CONTRACTOR SHALL REQUEST CLARIFICATION FROM ARCHITECT, ON ARCHITECT APPROVED FORM, CONTRACTOR IS NOT RELEASED FROM LIABILITY OR RESPONSIBILITY FOR FAILURE TO MEET REQUIREMENTS OF THE CONTRACT DOCUMENTS, WHETHER FOLLOWING THE SPECIFICATIONS AND DRAWINGS OR NOT.

4. ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES AND AUTHORITIES HAVING JURISDICTION (AHJ) IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL

5. CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID.

6. CONTRACTOR SHALL BE EXPERIENCED IN THIS TYPE OF WORK. NO ALLOWANCES WILL BE MADE

1. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC

AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION. 8. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR

CAPPED, AS REQUIRED BY CODE. 9. DAMAGED OR DISRUPTED EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO LANDSCAPING,

LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHALL BE REPLACED AT THE END OF CONSTRUCTION TO THE SAME STANDARDS OF QUALITY AS EXISTED PRIOR TO CONSTRUCTION.

10. DISRUPTED ELECTRICAL AND WATER LINES SHALL BE RE-ROUTED DURING CONSTRUCTION AND

ARE TO REMAIN IN CONTINUOUS SERVICE UNLESS OTHERWISE INDICATED OR INSTRUCTED. II. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR

SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN DIRECTION FROM THE ARCHITECT. 12. WHERE LACK OF INFORMATION OR DISCREPANCY EXISTS IN THE DRAWINGS OR SPECIFICATIONS

REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING. 13. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC SHALL BE RUN CONCEALED AND FRAMING SHALL BE CORRECTLY SIZED TO ACCOMPLISH THIS WITHOUT CREATING

14. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE, AND ACCESSORIES.

15. WHEN A PRODUCT, SYSTEM OR ASSEMBLY IS CALLED FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.

16. PRIOR TO PROCEEDING WITH WORK, CONTRACTOR SHALL COORDINATE WITH EACH TRADE THE LOCATIONS OF SLEEVES OR ACCESSORIES INVOLVING OTHER TRADES.

17. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD TRACEABLE TO MATERIALS OR WORKMANSHIP PROVIDED OR PERFORMED BY THE CONTRACTOR, SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO THE CONTRACT BEING AWARDED. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR DEFECTIVE MATERIALS. AT ANY TIME DURING THE CONSTRUCTION PERIOD, OWNER'S REPRESENTATIVES AND THE ENGINEER RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENTED HEREIN OR ON THE DRAWINGS AND AT NO COST TO THE THE OWNER. MATERIALS AND SYSTEMS WITH LONGER MANUFACTURER OR INSTALLER WARRANTIES (I.E. ROOFING) SHALL CARRY THE FULL MANUFACTURER S WARRANTY. INSTALLER S WARRANTY FOR ROOFING, WATERPROOFING, AND BUILDING ENVELOPE (AIR AND MOISTURE BARRIERS) SHALL BE A MINIMUM OF 2 YEARS. DATE OF REFERENCE SHALL BE SUBSTANTIAL COMPLETION, AS DETERMINED BY THE

18. LACK OF ENFORCEMENT OF THE SPECIFICATIONS BY ARCHITECT DOES NOT RELEASE CONTRACTOR FROM LIABILITY/RESPONSIBILITY TO MEET THE SPECIFICATION REQUIREMENTS WITH NO ADDITIONAL COST TO OWNER.

19. SUBSTITUTIONS ON PROJECT ARE LIMITED TO SUBSTITUTIONS FOR CAUSE. THESE ARE DEFINED AS CHANGES PROPOSED BY CONTRACTOR DUE TO CHANGED PROJECT CONDITIONS. SUCH AS UNAVAILABILITY OF PRODUCT, REGULATORY CHANGES, OR UNAVAILABILITY OF REQUIRED WARRANTY TERMS. SUBSTITUTION REQUEST SHALL SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTION TO MEET OR EXCEED PROJECT REQUIREMENTS IN ACCORDANCE WITH ARCHITECT S DOCUMENTATION REQUIREMENTS. PROVIDE COMPLETE COST, CALENDAR, AND CHANGES BREAKDOWN. SUBSTITUTION IS ACCEPTED ONLY IF CONFIRMED IN WRITING BY ARCHITECT.

20. INDUSTRY STANDARDS: CONTRACTOR SHALL BE FAMILIAR WITH INDUSTRY STANDARDS AND CODE REQUIREMENTS SUCH AS, BUT NOT LIMITED TO, TONA EXPANSION JOINT REQUIREMENTS, STUCCO JOINT DISTANCES AND PANEL SIZE / AREA REQUIREMENTS, CONTROL AND EXPANSION JOINT REQUIREMENTS, AND ADHESION TESTING FOR WATERPROOFING, ROOFING, SEALANTS, AND AIR AND MOISTURE BARRIER SYSTEMS. BEGINNING INSTALLATION OF SYSTEMS BY CONTRACTOR OR CONTRACTOR 9 SUBCONTRACTORS, WORKMEN, SUPPLIERS, ETC., WILL BE INTERPRETED AS CONFIRMATION THAT CONTRACTOR UNDERSTANDS REQUIREMENTS AND INSTALLATION WILL BE IN ACCORDANCE WITH AND MEET THE INDUSTRY STANDARDS AND CODE REQUIREMENTS.

21. CONTRACTOR SHALL ENGAGE MANUFACTURER S AUTHORIZED REPRESENTATIVES FOR OBSERVATION AND ACCEPTANCE OF PROJECT CONDITIONS, CONFIRMATION OF INSTALLATION METHODS AND TECHNIQUES, ADHESION PROPERTIES, AND REVIEW AND ACCEPTANCE OF WARRANTY CONDITIONS. ENGAGEMENT SHALL INCLUDE OBSERVATION AND REVIEW OF MOCK-UPS TO DETERMINE ACCEPTANCE OF CONTRACTOR 9 MEANS AND METHODS SPECIFIC TO REPRESENTATIVE 9 PRODUCTS AND INSTALLATION REQUIREMENTS.

SITE CONDITIONS

1. LOCATE, IDENTIFY, AND PROTECT ALL EXISTING UTILITIES ENCOUNTERED DURING THE WORK. IF ANY,

3. PROVIDE SLEEVES APPROPRIATE TO CONSTRUCTION WHERE NEW PIPES, CONDUIT, AND DUCTS PENETRATE WALLS AND FLOORS. FILL YOLDS WITH FIRE SAFING INSULATION OR FOAM PENETRATION

?. ENSURE THAT ALL UTILITY AND OTHER SERVICES WHICH MAY BE DISTURBED DURING CLOSE

EXCAVATION ARE TEMPORARILY STAYED AND BRACED IN POSITION DURING THE WORK.

4. PROGRESS CLEANING: REMOVE DEBRIS FROM INTERIOR OF BUILDING ON A DAILY BASIS AND STORE TEMPORARILY IN COMMERCIAL TRASH CONTAINERS. REMOVE DEBRIS FROM BUILDING SITE AT INTERVALS REQUIRED TO MINIMIZE OVERFLOW AND SPILLAGE. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL IN A LAWFUL MANNER.

5. PROVIDE TEMPORARY TOILET FACILITIES FOR CONSTRUCTION USE. USE OF THE OWNERS TOILET FACILITIES WILL NOT BE PERMITTED.

FINAL COMPLETION

1. DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE WASTE MATERIALS FROM THE SITE AND DISPOSE IN A LAWFUL MANNER.

2. COMPLETE CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF SUBSTANTIAL COMPLETION AND MAINTAIN BUILDING IN CLEANED CONDITION UNTIL FINAL COMPLETION 3. REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED FOR PROTECTION OF THE WORK

4. REMOVE LABELS, CLEAN GLASS SURFACES, AND DUST AND WIPE CLEAN ALL PRODUCTS, MATERIALS, SYSTEMS, FINISHES, EQUIPMENT, AND SURFACES.

ARCHITECTS DISCLAIMER

1. THE ARCHITECTS CERTIFICATION OF THE DOCUMENTS IS LIMITED TO THE DOCUMENTS AND THE INFORMATION CONTAINED IN THE DOCUMENTS.

2. THE ARCHITECTS CERTIFICATION SHALL NOT EXTEND TO REVISIONS TO THE DOCUMENTS OR REVISIONS IN THE INFORMATION CONTAINED IN THE DOCUMENTS WHERE SUCH REVISIONS WERE NOT PERFORMED AND/OR AUTHORIZED IN WRITING BY THE ARCHITECT.

3. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR REVISIONS TO THE DOCUMENTS OR REVISIONS IN INFORMATION CONTAINED IN THE DOCUMENTS AND WHERE SUCH REVISIONS HAVE BEEN MADE BY OTHERS TO PRODUCTS, MATERIALS, FINISHES, DIMENSIONS, SYSTEMS, ASSEMBLIES, OR AESTHETIC

4. IF ARCHITECT HAS NOT BEEN ENGAGED BY OWNER TO PROVIDE CONTRACT ADMINISTRATION (CA) SERVICES, THE DRAWINGS AND SPECIFICATIONS ARE PROVIDED IN AS-15 CONDITION AND THE OWNER ACCEPTS, AND ASSUMES, ALL LIABILITY FOR ERRORS AND OMISSIONS, INTERPRETING THE DRAWINGS AND SPECIFICATIONS, AND RESPONDING TO CONTRACTOR S QUESTIONS.

5. IF THE OWNER HAS NOT ENGAGED ARCHITECT FOR CA SERVICES AND REQUESTS INTERPRETATION OR ADDITIONAL INFORMATION FROM THE ARCHITECT, OWNER SHALL COORDINATE WITH CONTRACTOR TO PROVIDE FULL ACCESS TO THE PROJECT, AND INFORMATION AND HISTORY LEADING TO THE CONDITION(S) IN QUESTION. IT IS UNDERSTOOD THAT ARCHITECT S KNOWLEDGE OF THE PROJECT AND CONDITIONS IN QUESTION ARE LIMITED WHAT THE OWNER AND CONTRACTOR PROVIDES AND MAY NOT FULLY REVEAL ALL OF THE CONDITIONS. THE PROJECT REMAINS AN AS-IS CONDITION AS ARCHITECT S KNOWLEDGE OF THE CONDITIONS ARE LIMITED. OWNER SHALL COMPENSATE ARCHITECT FOR THEIR TIME AND COSTS AS ADDITIONAL SERVICES.

6. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT WATER IS DIVERTED AWAY FROM THE FOUNDATION OF THE HOME AT ALL PERIMETER LOCATIONS.

1. CONTRACTOR IS TO ENSURE THAT ALL ASPECTS OF PENETRATIONS INTO THE BUILDING SHELL ARE ADEQUATELY WATERPROOFED. WHERE DRAWINGS DO NOT SPECIFICALLY ANNOTATE A FLASHING CONDITION, CONTRACTOR IS RESPONSIBLE TO PROVIDE FLASHING AS NEEDED TO PROTECT THE STRUCTURE.

TERMITE PROTECTION:

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." A COPY SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST I'-O" AWAY FROM BUILDING SIDE WALLS.

IRRIGATION \$ SPRINKLER SYSTEMS, INCLUDING ALL RISERS AND SPRAY HEADS, SHALL NOT BE INSTALLED WITHIN 1'-0" OF THE BUILDING SIDE WALLS. TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, CLEARANCE BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES.

PAINT OR DECORATIVE CEMENTIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL. ACCESS OR VEHICLE RAMPS WHICH RISE TO THE INTERIOR FINISH FLOOR

ELEVATION FOR THE WIDTH OF SUCH RAMPS ONLY. A 4-INCH INSPECTION SPACE ABOVE PATIO AND GARAGE SLABS AND ENTRY

INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACK FILL IS COMPLETE. SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED. BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC., SHALL BE MADE WITH A PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT. MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL

DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED. CONCRETE OVER POUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT. SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE

WITHIN 1'-0" OF THE STRUCTURES SIDEWALLS. AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED. ALL BUILDINGS ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT. AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN I'-O" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL. NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING.

1805 SQFT

1833 SQFT

SCALE: 1/8" = 1'-0"

SQUARE FOOTAGES

MAIN HOUSE (HEATED)

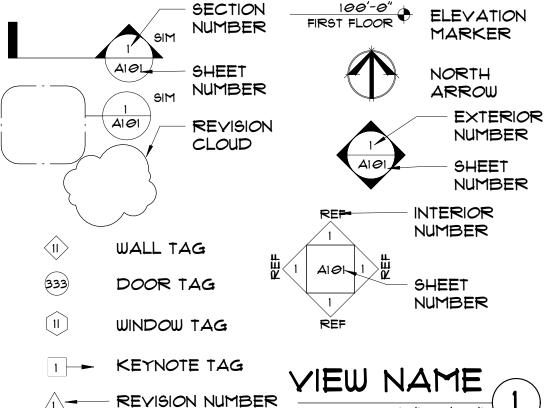
MAIN LEYEL

UPPER LEVEL	1 <i>0</i> 34 5QFT	
ATTIC LEVEL	601 9QFT	
TOTAL HEATED (HOUSE)	3506 SQFT	
MAIN HOUSE (COYERED/UNHEA	(TED)	
RAISED CRAWL SPACE	1949 SQFT	
OUTDOOR LIVING	533 SQF1	
ENTRY/PORCH	365 SQFT	
TOTAL COVERED/UNHEATED (MAIN HOUSE)	2847 9QFT	
TOTAL ROOFED AREA (MAIN HOUSE)	6353 SQFT	
GUEST HOUSE (HEATED)		
MAIN LEVEL ENTRY	148 9QFT	
M.I.L. SUITE	696 SQFT	
TOTAL HEATED (GUEST HOUSE)	844 9QF1	
	ATED)	

MAIN LEVEL ENTRY	148 9QFT				
M.I.L. SUITE	696 9QFT				
TOTAL HEATED (GUEST HOUSE)	844 SQFT				
GUEST HOUSE (COYERED/UNHEATED)					
DETACHED GARAGE	576 SQFT				
ENTRY PORCH	60 SQFT				
TOTAL COVERED/UNHEATED (GUEST HOUSE)	636 SQFT				
TOTAL ROOFED AREA (GUEST HOUSE)	1,480 SQFT				

STANDARD SYMBOLS:

TOTAL OVERALL ROOFED AREA



2018 SC RESIDENTIAL CODE

OCCUPANCY: R-3: SINGLE FAMILY CITY OF CHARLESTON APPLICABLE CODES 2009 INTERNATIONAL ENERGY CONSERVATION CODE 2017 NATIONAL ELECTRICAL CODE (NFPA 10) 2018 SOUTH CAROLINA BUILDING CODE 2018 SOUTH CAROLINA EXISTING BUILDING CODE

2018 SOUTH CAROLINA FUEL GAS CODE 2018 SOUTH CAROLINA FIRE CODE

2018 SOUTH CAROLINA MECHANICAL CODE 2018 SOUTH CAROLINA PLUMBING CODE

2018 SOUTH CAROLINA RESIDENTIAL CODE

2018 SWIMMING POOL AND SPA CODE

2017 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (EFFECTIVE JUNE 1, 2017)

ZONING INFORMATION SITE ADDRESS 100 FARMFIELD AVENUE CHARLESTON, SC 29401

CITY OF CHARLESTON BASE ZONING DESIGNATION

OYERLAY ZONING SHORT-TERM RENTAL CATEGORY: SR CAT 3

FEMA FLOOD ZONE AE - 10 | NAVD88 2'-0" FREEBOARD REQMI LOT SIZE 1.04 ACRES / 45,302.4 SQ. FT.

MINIMUM LOT AREA 9,000 SF

SETBACK REQUIREMENTS FRONT YARD

MAIN HOUSE: 25 FEET DETACHED GARAGE: 60 FEET

APPROVED VARIANCE (04/19/2022): /ARIANCE FROM SEC. 54-301 TO ALLOW CONSTRUCTION OF A DETACHED ACCESSORY BUILDING WITH A 35 FOOT FRONT SETBACK WITH THE CONDITION THAT NO SHORT TERM RENTALS OF ACCESSORY STRUCTURE ARE

REAR YARD MAXIMUM LOT

SIDE YARD

9 FEET 25 FEET

PERMITTED.

35% OR 15,855.84 SQ FT.

MAXIMUM HEIGHT OF STRUCTURES IN THE SR-1 DISTRICT IS 35 FEET OR 2-1/2 STORIES.

EXCEPTIONS:

TO THE SITE + 35).

IN ANY CONSERVATION, RR-1, SR-1, SR-2, SR-6, SR-1 AND STR ZONING DISTRICT, THE HEIGHT OF A DWELLING MAY BE INCREASED TO FORTY (40) FEET, BUT NOT EXCEED 21/2 STORIES, PROVIDED THAT THE WIDTH OF EACH SIDE YARD REQUIRED BY TABLE 3.1 FOR THE DISTRICTS IN WHICH THE BUILDING IS LOCATED IS INCREASED A DISTANCE EQUAL TO SIO AT LEAST TWO TIMES THE ADDED HEIGHT OF THE BUILDINGS ABOVE THE THIRTY-FIVE (35) FOOT LIMITATION OF THE DISTRICT PROPERTIES IN THE CONSERVATION RR-1 SR-1 SR-2, SR-6, SR-1 AND STR ZONING DISTRICTS LOCATED WITHIN A FLOOD INSURANCE RATE MAP (FIRM) SPECIAL FLOOD HAZARD AREA SHALL BE PERMITTED TO HAVE DWELLINGS WITH A MAXIMUM HEIGHT, NOT TO EXCEED FORTY-SEVEN (41) FEET OR 21/2 STORIES, WHICHEVER IS LESS BASED ON THE FOLLOWING FORMULA: (FIRM BASE FLOOD ELEVATION + TWO FEET OF ADDITIONAL FREEBOARD - LOWEST CURB LINE ELEVATION ADJACENT

HEIGHT CALCULATION:

10'-0" (FIRM BFE) + 2'-0" - 5.14'-0" (STREET) + 6" (CURB) + 35'-@" = 42'-4 11/32" MAXIMUM BUILDING HEIGHT

APPROVED VARIANCE (04/19/2022): /ARIANCE FROM SEC. 54-301 TO ALLOW CONSTRUCTION OF A 2-1/2 STORY RESIDENCE WITH A 46 FT TOTAL HEIGHT.

MATERIAL LEGEND:

BRICK STRUCTURAL CONCRETE CERAMIC TILE LUMBER RIGID INSULATION /// ALUMINUM BLOCKING PLYWOOD

EARTH SHINGLES UNDISTURBED EARTH

SIDING GRAVEL

PROJECT LOCATION MAP:



PROJECT NORTH

11 11

GLASS

CMU



PROJECT SUMMARY:

DRAWING INDEX:

COVER SHEET

SITE PLAN

MAIN LEVEL

UPPER LEVEL

ATTIC LEVEL

ROOF PLAN

MAIN LEVEL RCP

UPPER LEVEL RCP

EXTERIOR ELEVATION

EXTERIOR ELEVATIONS

EXTERIOR ELEVATION

EXTERIOR ELEVATION

BUILDING SECTIONS

BUILDING SECTIONS

BUILDING SECTIONS

BUILDING SECTIONS

BUILDING SECTIONS

BUILDING SECTIONS

WALL SECTIONS

GRADING PLAN

GENERAL NOTES

FOUNDATION PLAN

1ST FLOOR FRAMING PLAN

2ND FLOOR FRAMING PLAN

3RD FLOOR FRAMING PLAN

GARAGE STRUCTURAL PLANS

GARAGE STRUCTURAL PLANS

GARAGE STRUCTURAL PLANS

ROOF FRAMING DETAILS

ROOF FRAMING DETAILS

PIER FOUNDATION DETAILS

PROJECT DESIGN TEAM:

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FRAMING DETAILS

FRAMING DETAILS

FRAMING DETAILS

PORCH DETAILS

PORCH DETAILS

CEILING FRAMING PLAN

ROOF FRAMING PLAN

HOLD DOWN PLAN

HOLD DOWN PLAN

DETAILS

PROJECT INFORMATION

ENLARGED SITE PLAN

DETACHED GARAGE

RAISED CRAWL SPACE RCP

DETACHED GARAGE RCP

EXTERIOR ELEVATIONS - DETACHED GARAGE

BUILDING SECTIONS - DETACHED GARAGE

1ST FLOOR SHEAR WALL, METHOD GB AND

2ND FLOOR SHEAR WALL, METHOD GB AND

CONTRACTOR
PENDIUM GROUP, LLC

CONTACT: THOMAS WINGARD

STRUCTURAL ENGINEER
RESIDENTIAL STRUCTURES, P.C.

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LINCK LANDSCAPE ARCHITECTURE, LLC

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CIVIL ENGINEER

EMAIL: KIRSTENS@MHKARCHITECTURE.COM EMAIL: CORY@RESIDENTIALSTRUCTURESPC.COI

DOOR AND WINDOW SCHEDULE

RAISED CRAWL SPACE

ARCHITECTURE

A0.1

A1.0

A1.1

A2.1

A2.2

A2.3

A2.4

A3.0

A4.0

A4.1

A4.3

A5.0

A5.1

A5.2

A5.3

A5.4

A6.1

A6.2

A6.3

A6.4

A6.5

A6.6

AT.O

A8.0

SD1.1

SD2.1

SD2.2

SD3.0

SD4.0

RUTHIE RAYENEL \$ CHRIS WELCH

MHK ARCHITECTURE & PLANNING

CONTACT: KIRSTEN SCHOETTELKOTTE

CHRISTOPHER.M.WELCH@GMAIL.COM

CONTACT: RUTHIE RAYENEL

PHONE: (843) 696-8858

PHONE: (843) 566-3511

MEP ENGINEER

SD4.1

LANDSCAPE

STRUCTURAL

A6.0

THIS IS A PERMIT APPLICATION FOR A SINGLE FAMILY RESIDENCE TO BE CONSTRUCTED ON AN EXISTING 1.04 ACRE SINGLE FAMILY LOT LOCATED AT 100 FARMFIELD AVENUE IN THE CITY OF CHARLESTON, SC. THE LOT IS VACANT AND ALL SITE UTILITIES ARE EXISTING. THE PROJECT INCLUDES AN APPROXIMATELY 3,506 SQUARE FOOT, HEATED, NEW SINGLE FAMILY RESIDENCE AND A NEW DETACHED GARAGE WITH AN APROXIMATELY 844 SQUARE FOOT, HEATED APARTMENT THAT CONFORMS TO THE SR-1 ZONING DISTRICT, AS WELL AS POOL AND HARDSCAPE AREAS; (SEE LANDSCAPE ARCHITECTURE DRAWINGS FOR POOL \$ HARDSCAPE DETAILS). THE HOUSE INCLUDES AN OPEN LIVING! DINING! KITCHEN AREA. AN OFFICE. A LOFT, 4 BEDROOMS, 3 FULL BATHS AND 1 HALF BATHS, AN OUTDOOR LIVING AREA, A GARAGE BELOW, AND A DETACHED GARAGE WITH A SMALL APARTMENT.

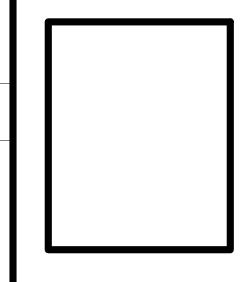
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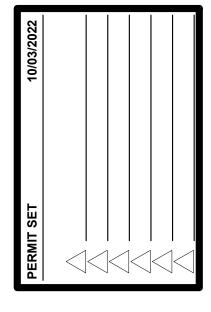
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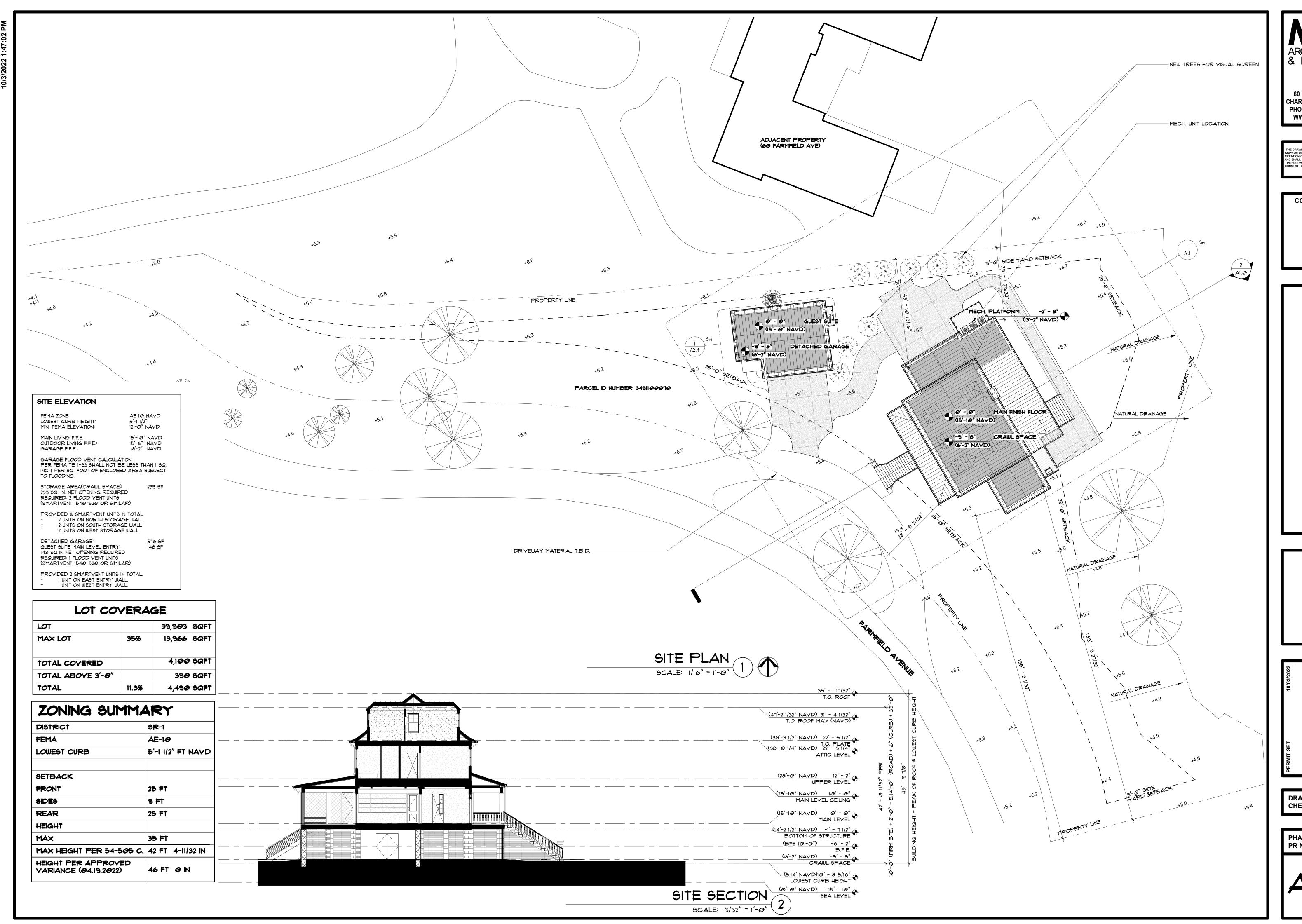


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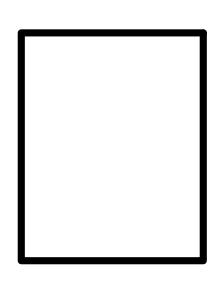


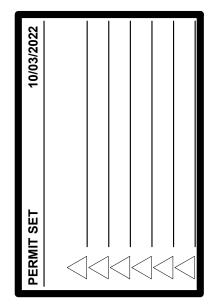
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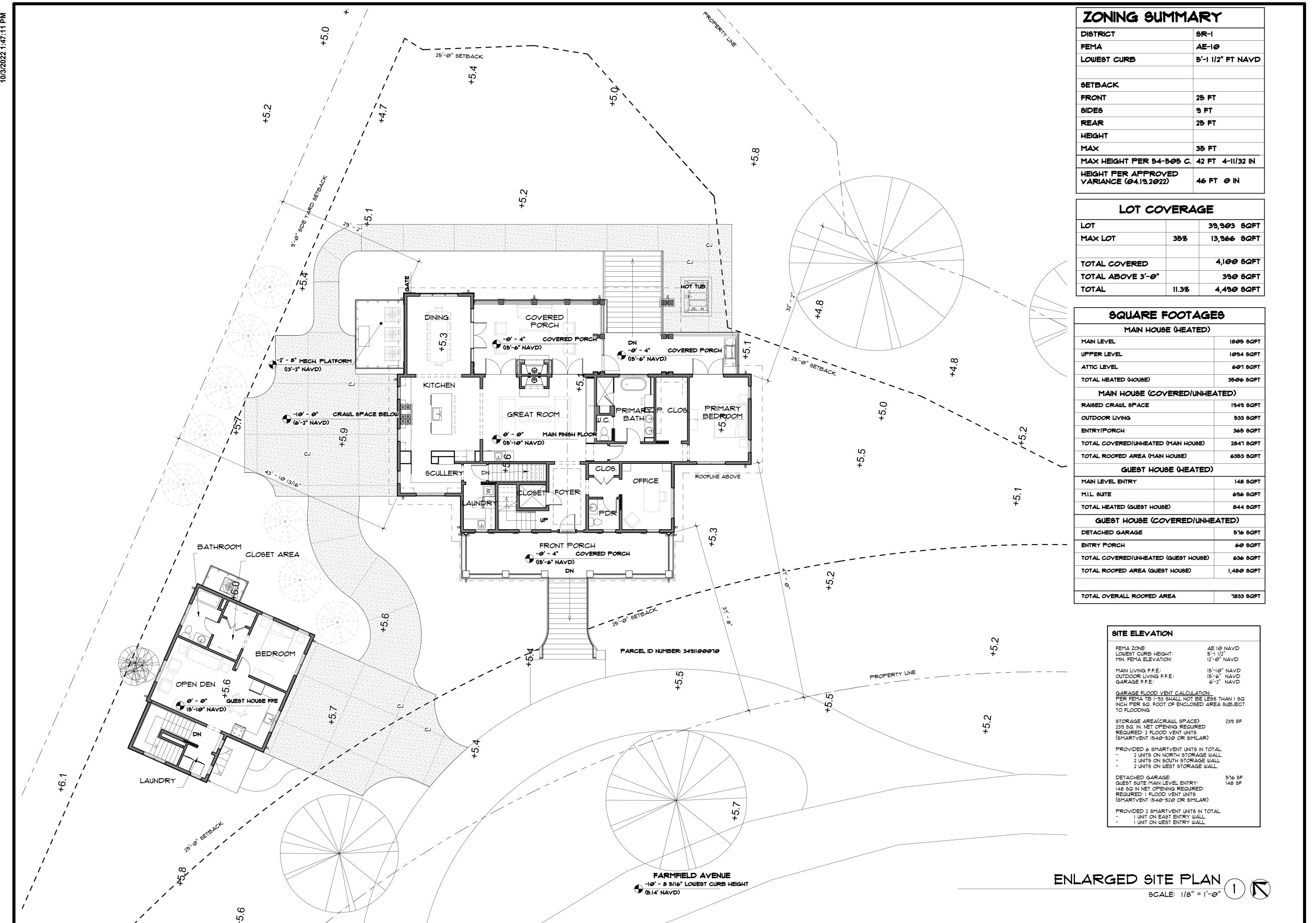
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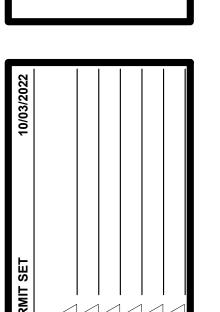


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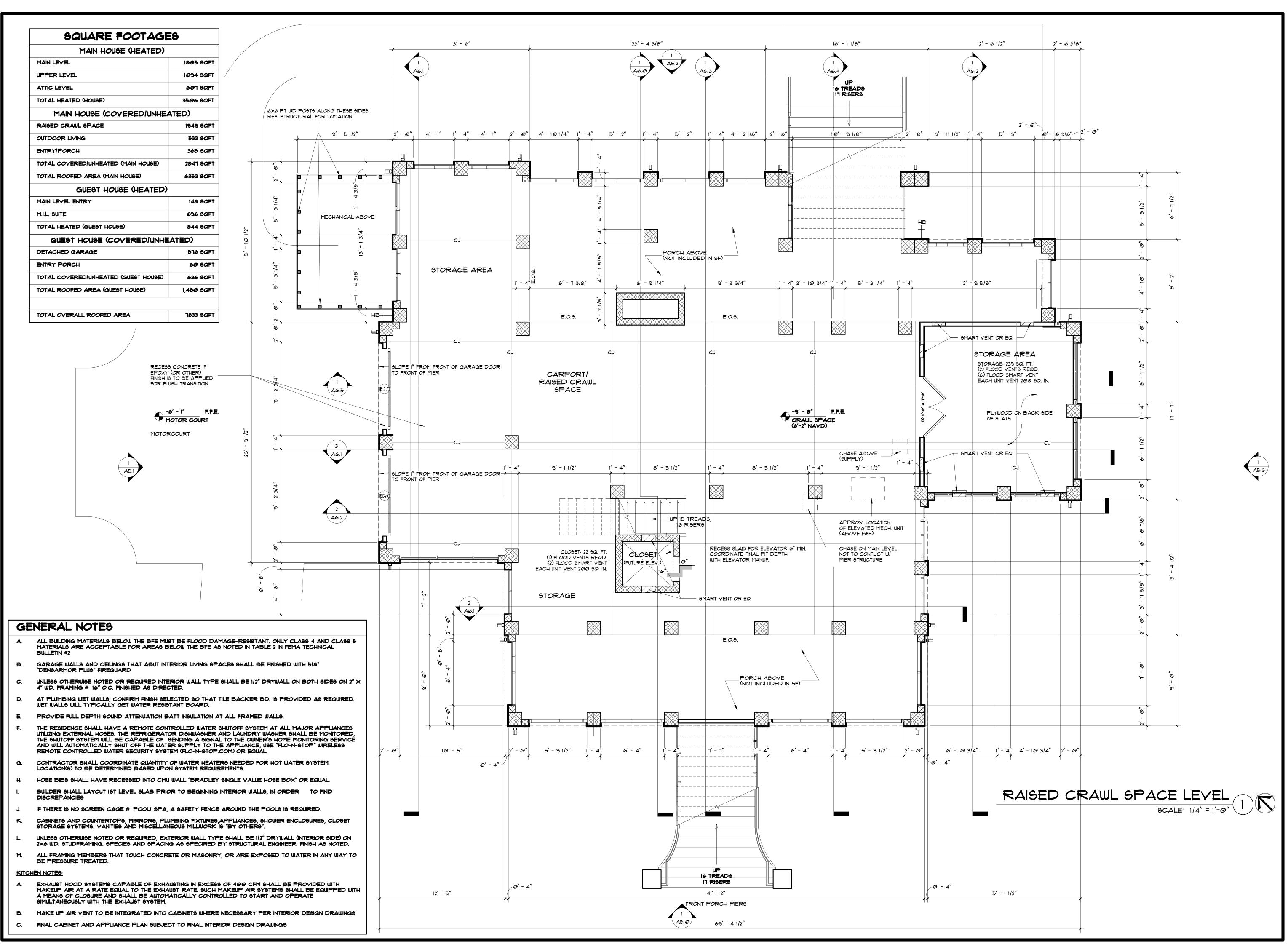
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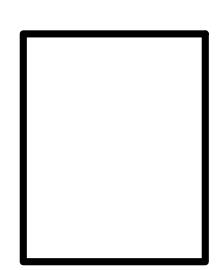
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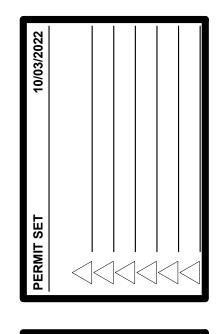


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Ravenel Welch Residence 100 FARMFIELD AVENUE

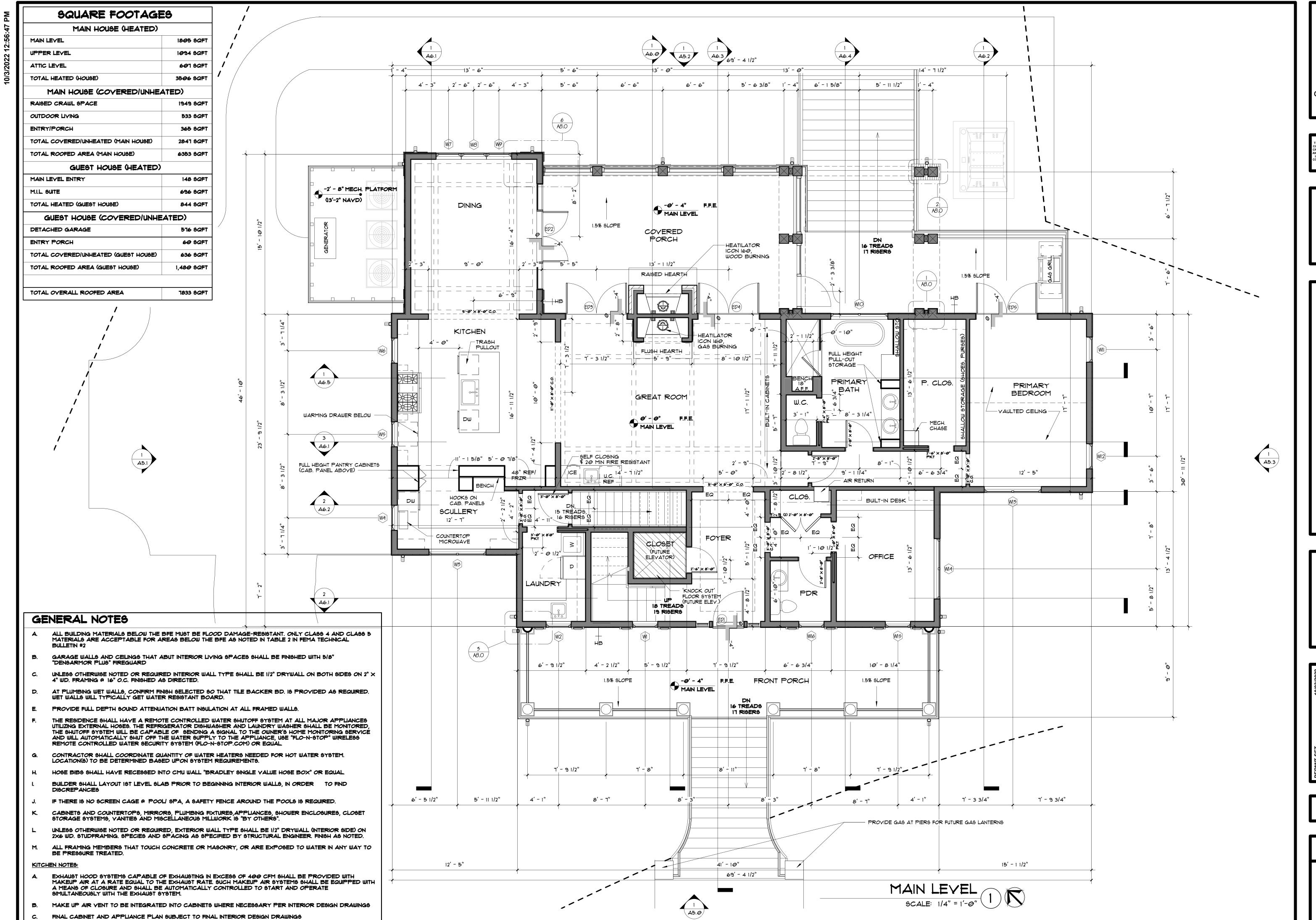




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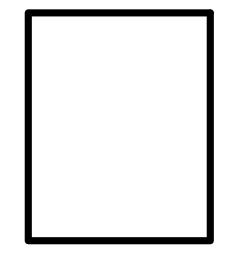
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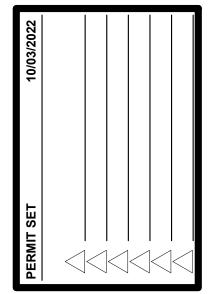
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A2.1

TOTAL COYERED/UNHEATED (GUEST HOUSE)

TOTAL ROOFED AREA (GUEST HOUSE)

TOTAL OVERALL ROOFED AREA

GENERAL NOTES

D.

"DENSARMOR PLUS" FIREGUARD

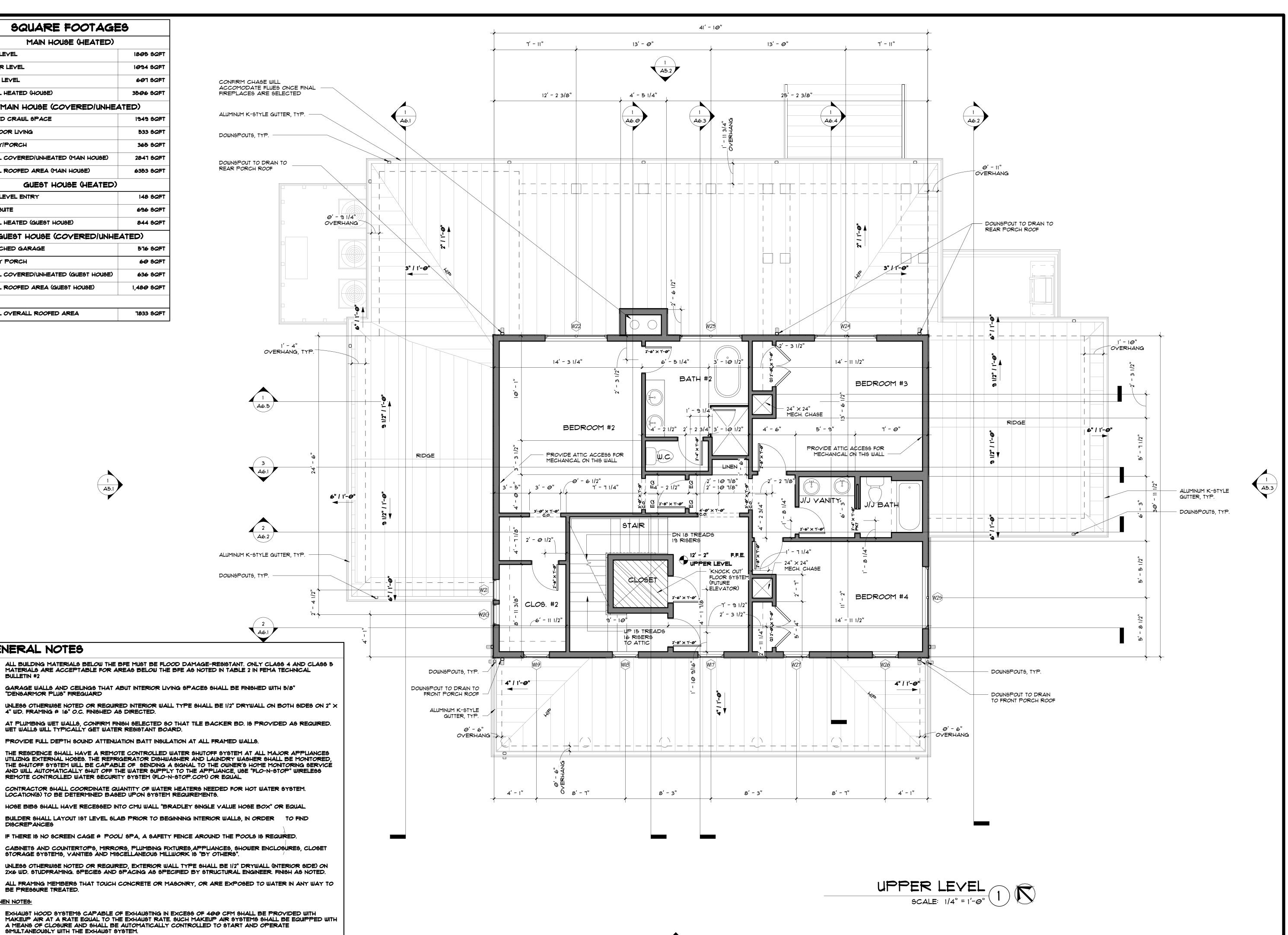
BE PRESSURE TREATED.

SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.

MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS

FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS

4" WD. FRAMING @ 16" O.C. FINISHED AS DIRECTED.



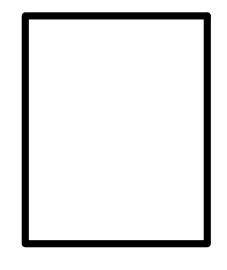
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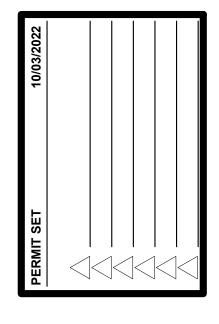
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EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE

MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS

FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS

SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.

& PLANNING

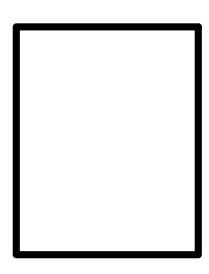
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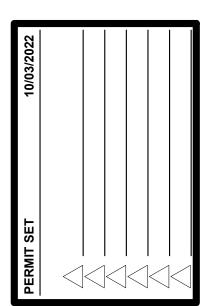


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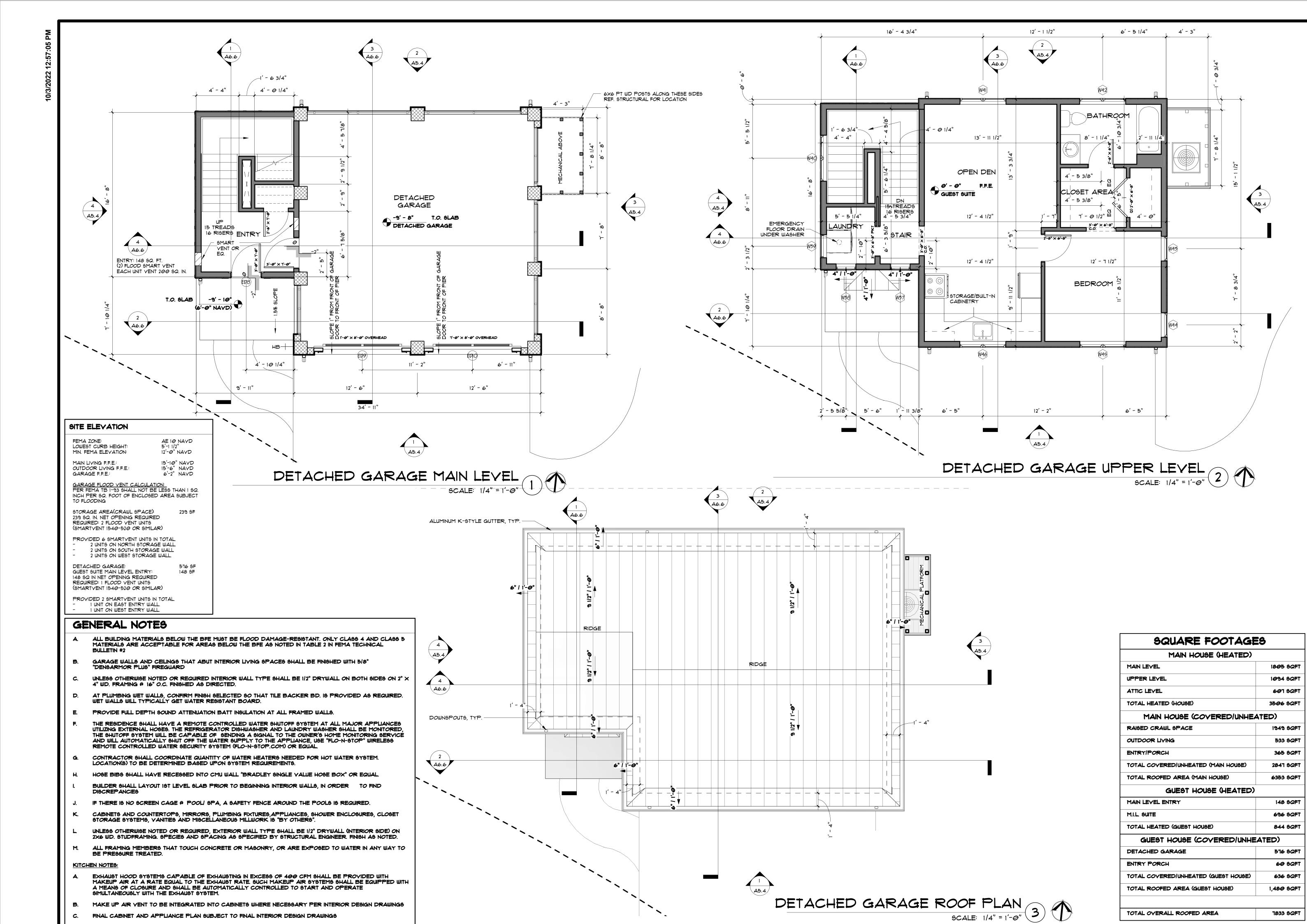
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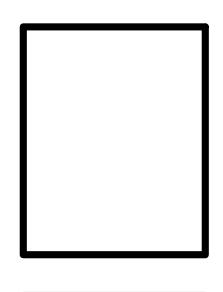
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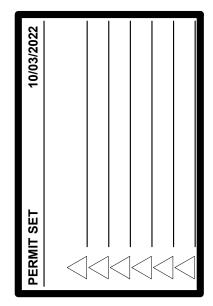


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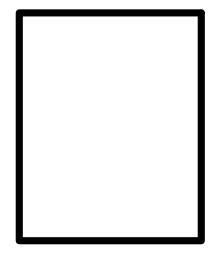
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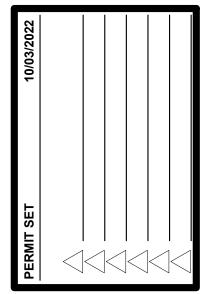
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MAIN LEVEL REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

1



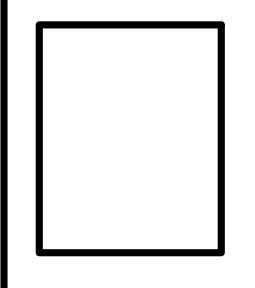
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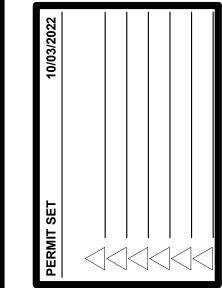
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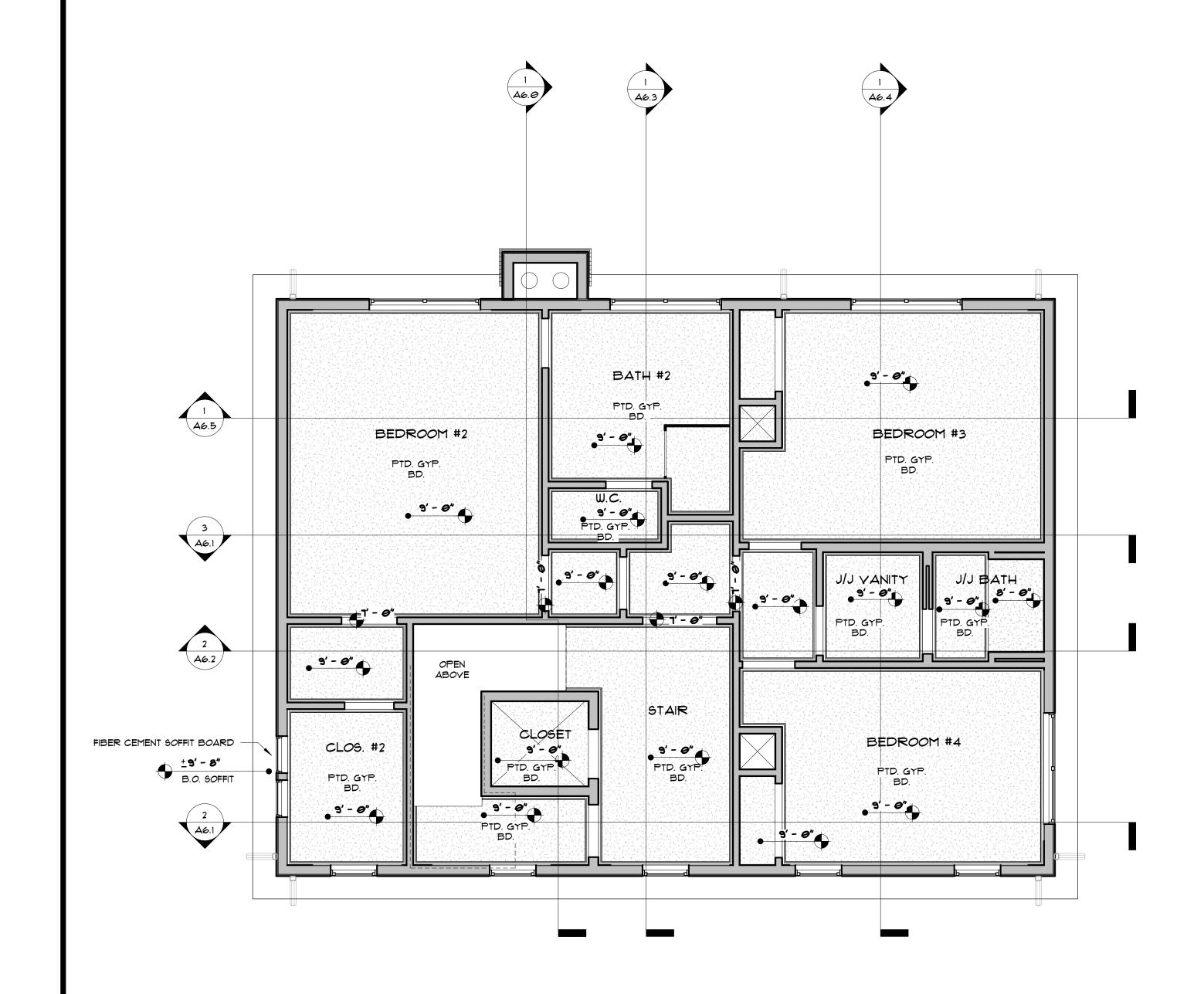
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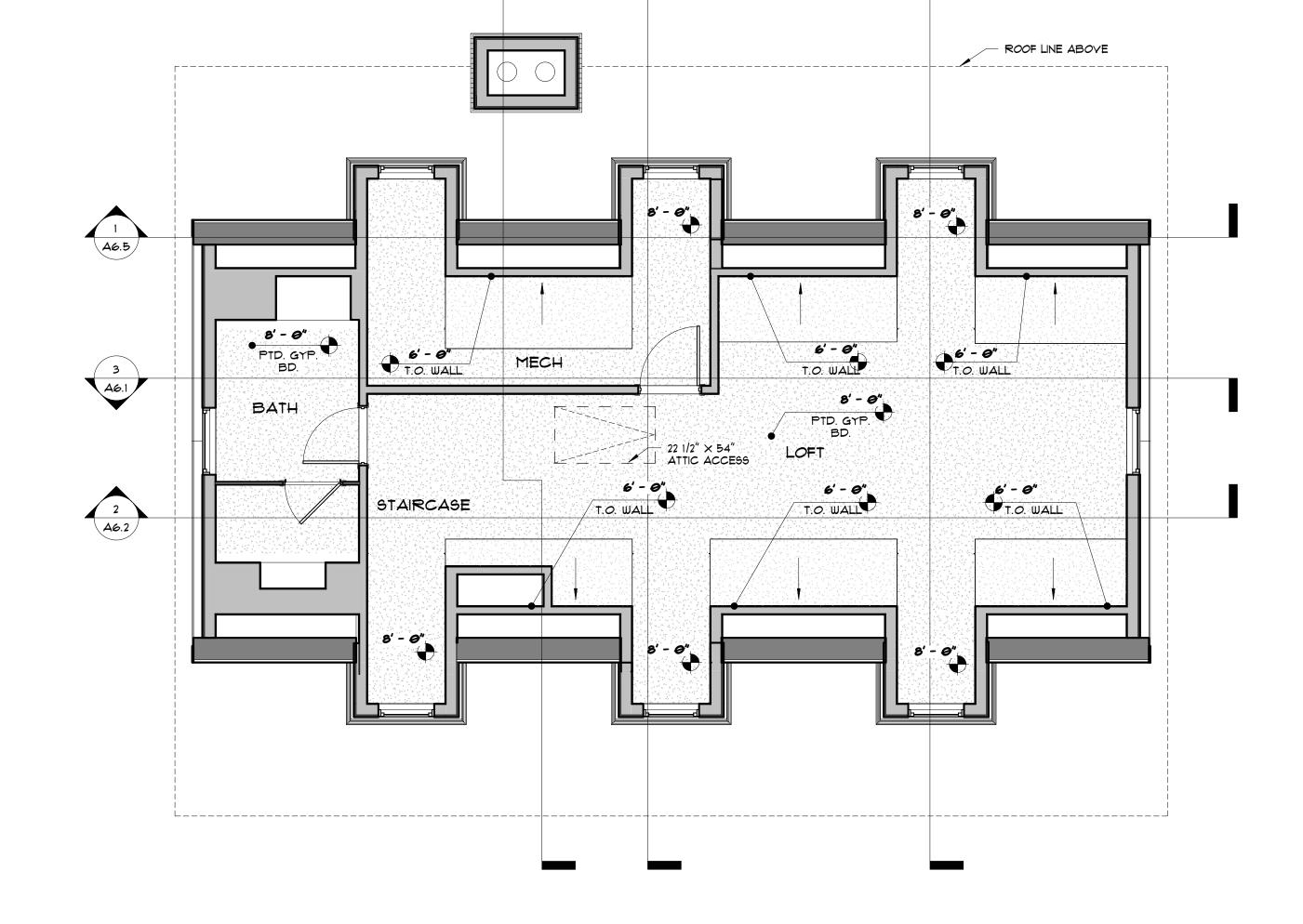
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UPPER LEVEL REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

1



ATTIC LEVEL REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

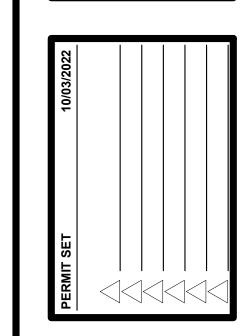
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OPEN ABOYE

> CLOSET PTD. GYP. BD.

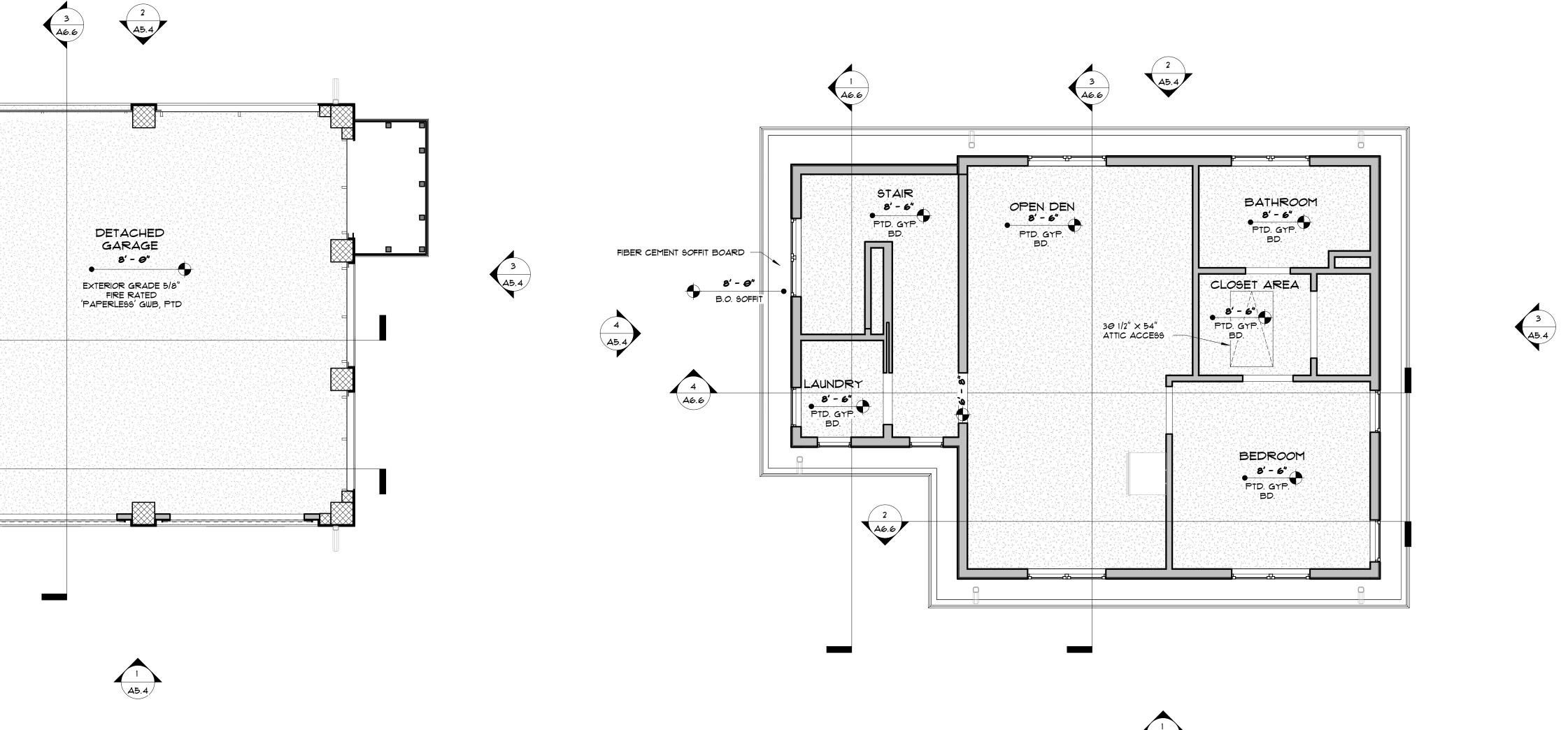
> > DETACHED GARAGE MAIN LEVEL

REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

ENTRY
8'-0"
PID. GYP.
BD.

2 A6.6



ARCHITECTURE & PLANNING

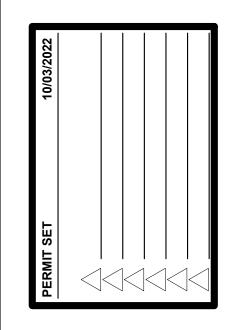
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DETACHED GARAGE UPPER LEVEL

REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

2

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A4.3

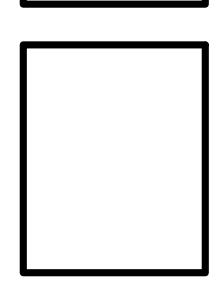


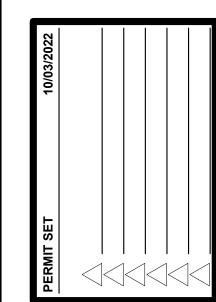
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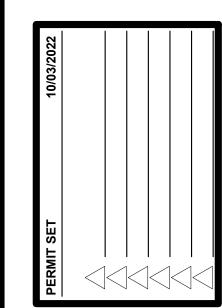




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CONTRACTOR TO COORDINATE CHIMNEY CAP _ \$ FLUE DETAIL W/ ARCHITECT 35' - 1 17/32" T.O. ROOF -STANDING SEAM 'COLONIAL' METAL ROOF (RED). PROVIDE ALTERNATE PRICING FOR EXPOSED FASTENER METAL ROOF, TYP. SYNTHETIC STUCCO FINISH @ CHIMNEY (NO RAISED TRIM) COORDINATE W/ ARCHITECT -HEAD HEIGHT (ATTIC LEVEL) -PROFILED COMPOSITE/PVC CORNICE, PTD. PROFILED CORNICE OVER IX8
FRIEZE BOARD, COMPOSITE
OR PVC, PTD. PROFILE T.B.D. (38'-3 1/2" NAVD) 22' - 5 1/2" T.O. PLATE (38'-0 1/4" NAVD) 22' - 3 1/4" ATTIC LEVEL HEAD HEIGHT (TYPICAL) ALUMINUM K-STYLE GUTTER, TYP. DOWNSPOUT, TO DRAIN TO FRONT PORCH ROOF $-5/4 \times 4$ COMPOSITE TRIM, 5/4×4 COMPOSITE CORNER BOARD, PTD, TYP. PTD. FIBER CEMENT LAP SIDING, 4" EXPOSURE, PTD. -DOWNSPOUTS, TYP. 2" | 1'-0" - FLASHING, TYP. (28'-0" NAVD) 12' - 2" UPPER LEVEL (25'-10" NAVD) 10' - 0" MAIN LEVEL CEILING HEAD HEIGHT (TYPICAL) PROFILED CORNICE OVER 1X8 FRIEZE
-BOARD, COMPOSITE OR PVC, PTD.
-PROFILE T.B.D. -+/- 11" DIAMETER COLUMN, PTD. ENGAGED PILASTER TRADITIONAL RAILING/BALUSTERS. O CONFIRM SELECTION W/ OWNER \$ 1 FIBER CEMENT, PTD. COORDINATE INSTALLATION W/ ARCHITECT ARCHITECT -FIBER CEMENT WATERTABLE, SIZE/PROFILE T.B.D. 1X4 FIBER CEMENT TRIM OVER SMOOTH FIBER CEMENT PANEL - OPEN 1X4 PT WOOD SLATS W/ 1/4" SPACING, PTD. (14'-2 1/2" NAVD) -1' - 7 1/2" BOTTOM OF STRUCTURE MECHANICAL PLATFORM $6^{\prime\prime}$ \times $6^{\prime\prime}$ PT WOOD POST BEYOND REF. STRUCTURAL FOR LOCATION 0' - 5 7/8" *é*' - 3 1/2"/ THIN BRICK VENEER @ PIERS 0' - 5 7/8" Ø' - 3 1/2" *e*' - 3 1/2" / (BFE 10'-0") -6' - 2" B.F.E. 2' - 4 3/8" 5' - 1 1/4" 5' - 1 1/4" 2' - 4 3/8" OPEN 1X4 PT WOOD SLATS W/ 1/4" SPACING, PTD. (6'-2" NAVD) -9' - 8" CRAWL SPACE (5.14' NAVD)10' - 8 5/16" LOWEST CURB HEIGHT WALL PANELING ELEVATION
SCALE: 1/4" = 1'-0"

2 SCALE: 1/4" = 1'-0"

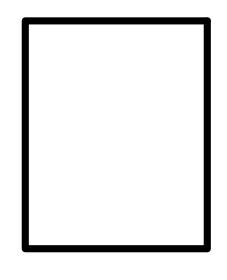


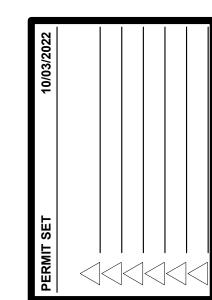
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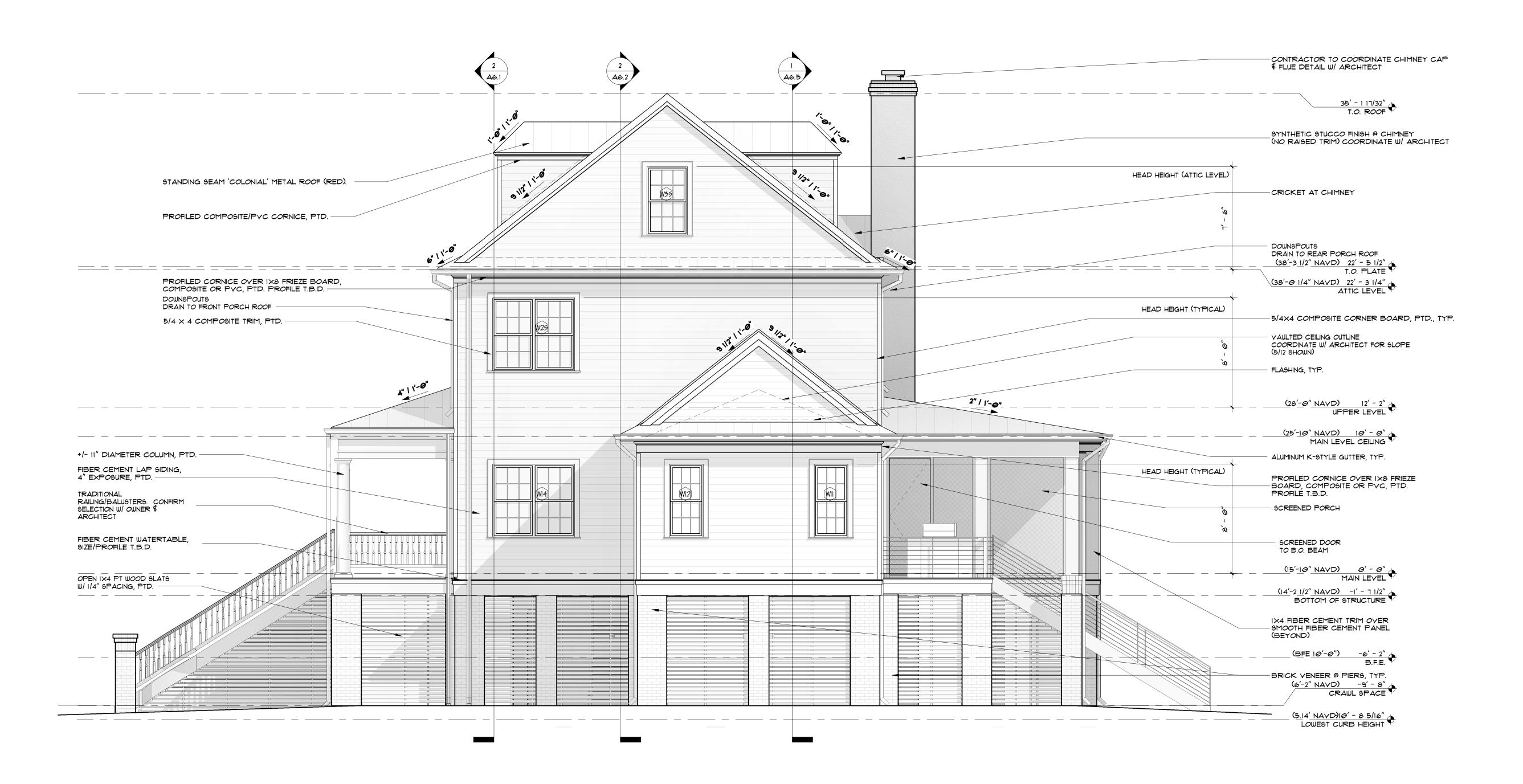
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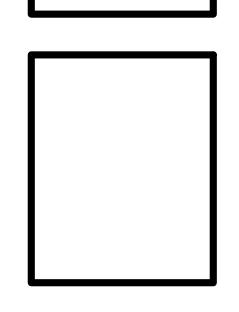


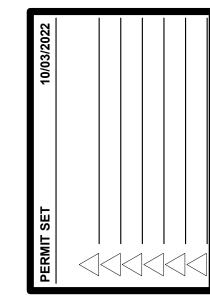
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RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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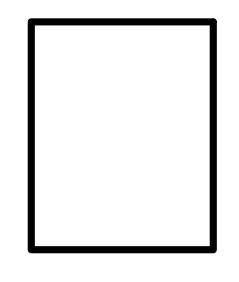
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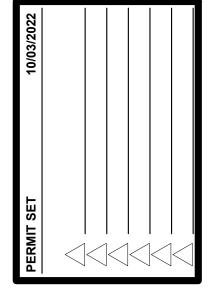
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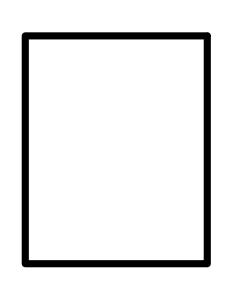
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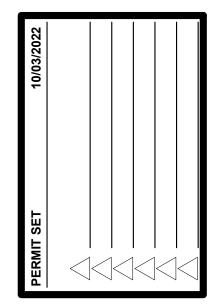
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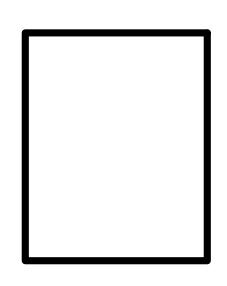
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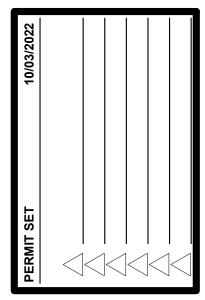
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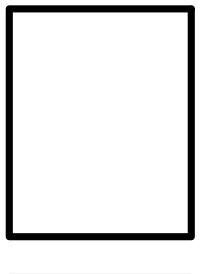
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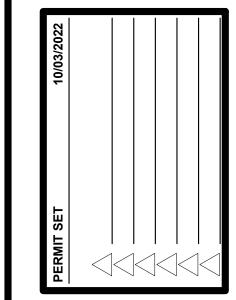
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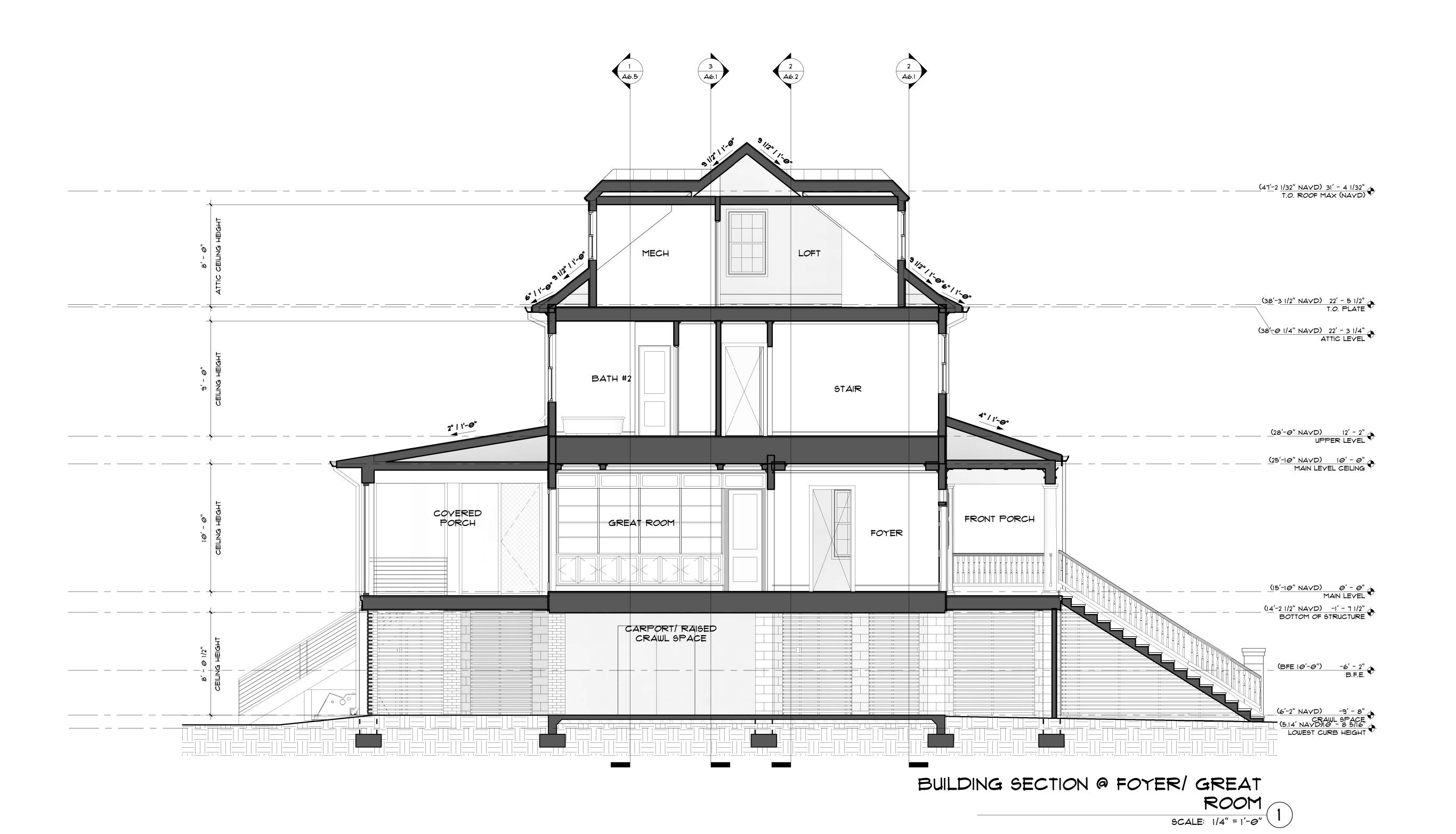
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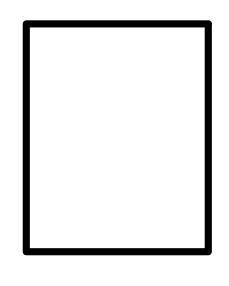


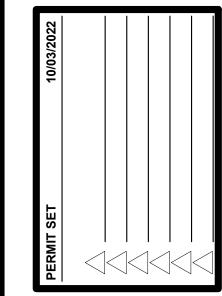
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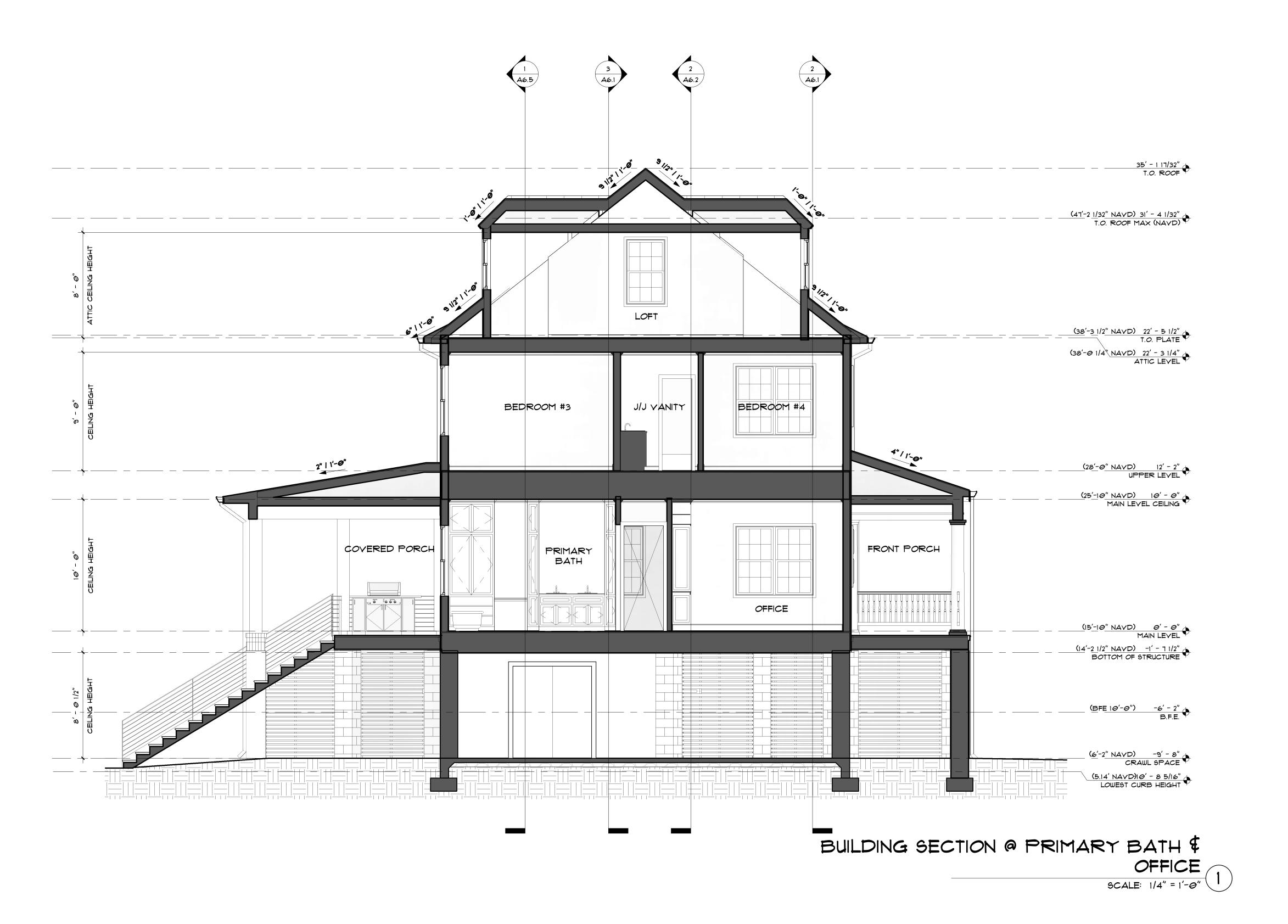
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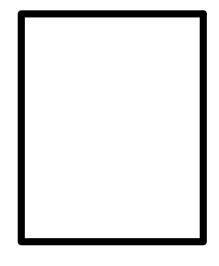


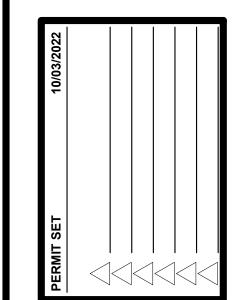
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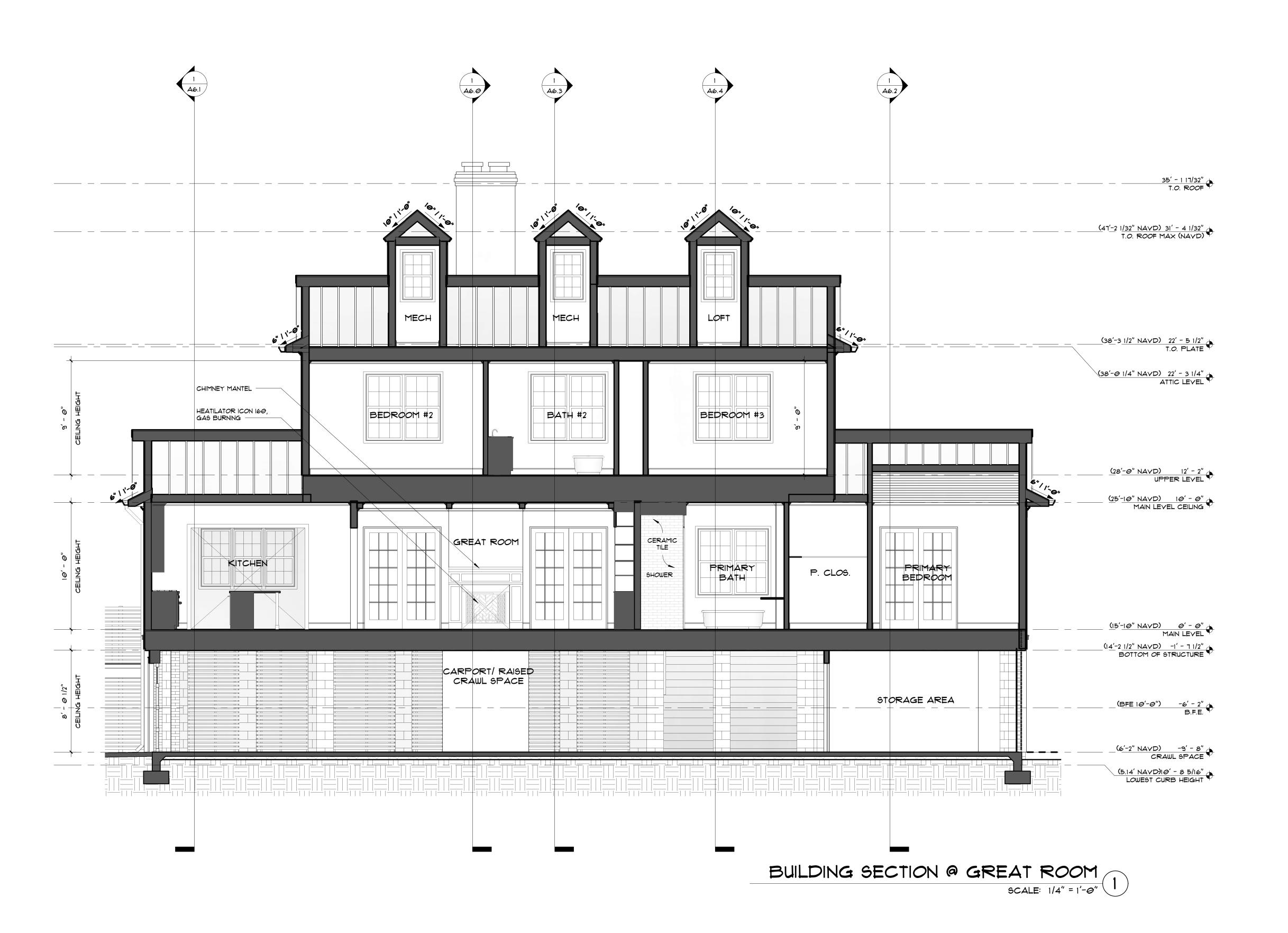
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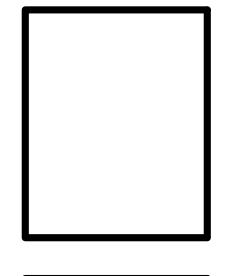


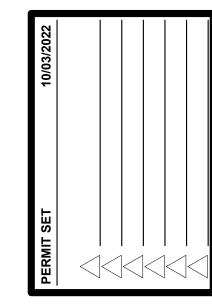
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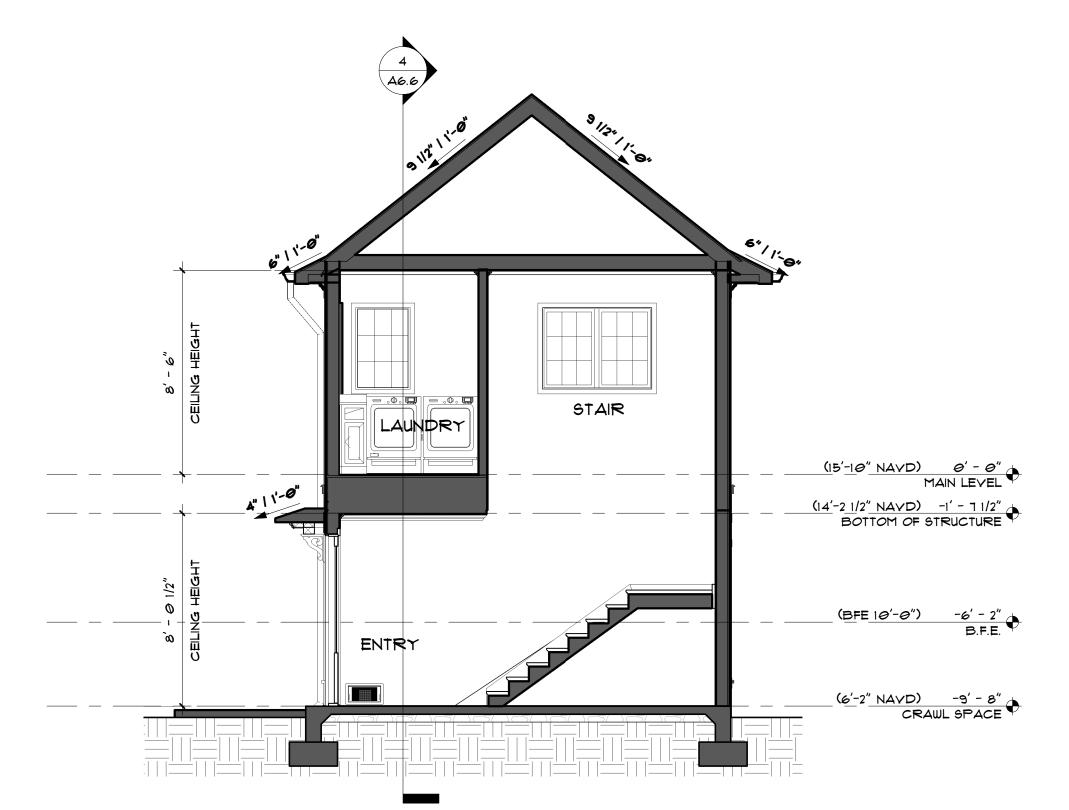
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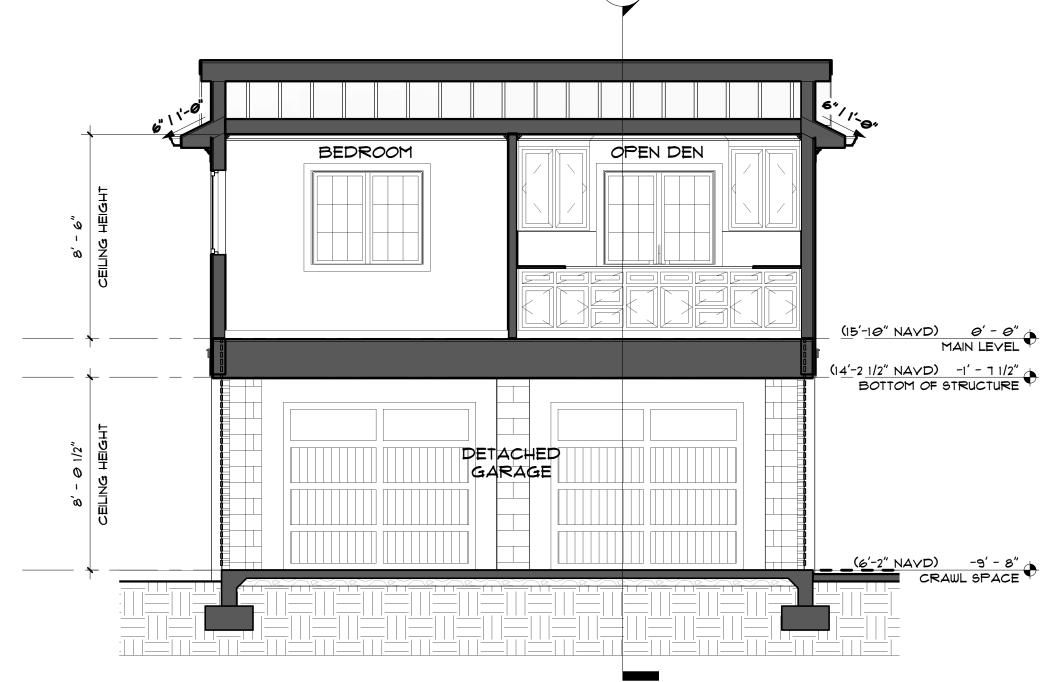




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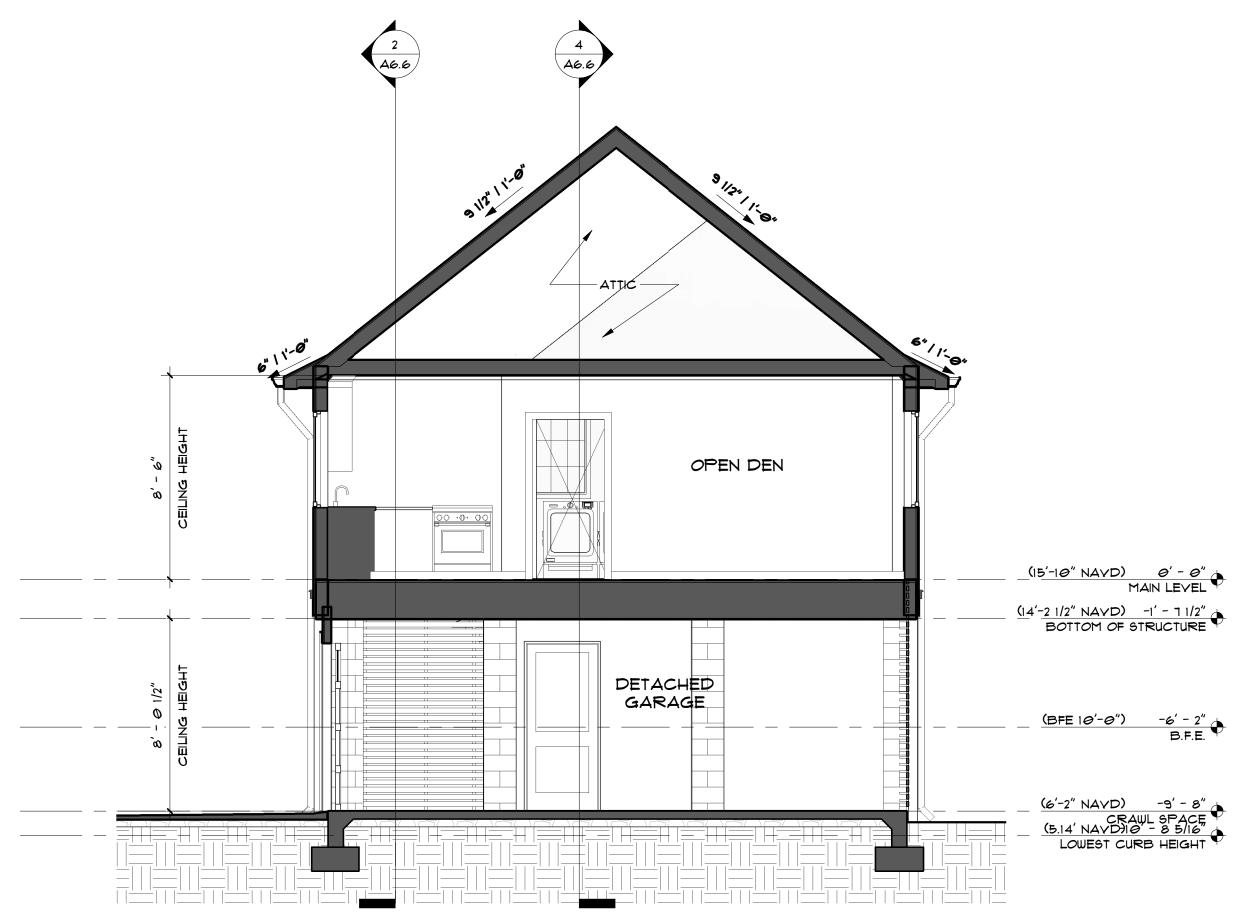


GARAGE BUILDING SECTION @ ENTRY STAIR 1 SCALE: 1/4" = 1'-0"



GARAGE BUILDING SECTION @ KITCHEN

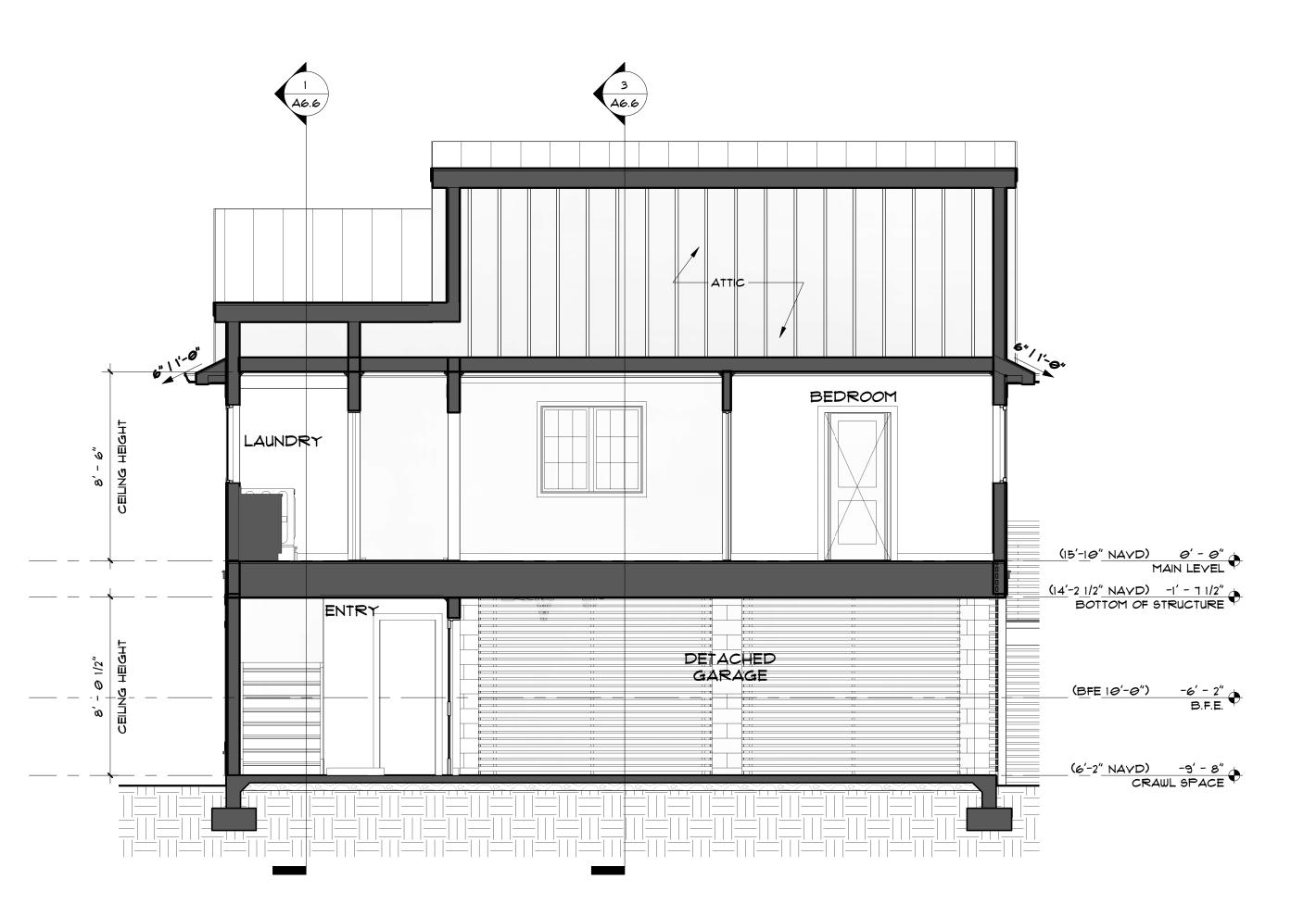
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GARAGE BUILDING SECTION @ LIVING/KITCHEN

SCALE: 1/4" = 1'-0"

3



GARAGE BUILDING SECTION @ ENTRY

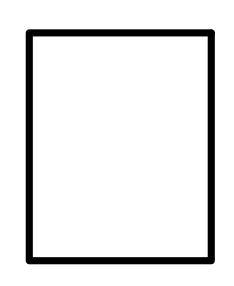
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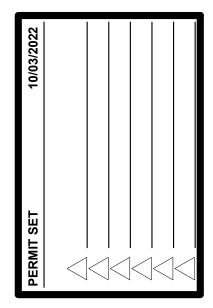
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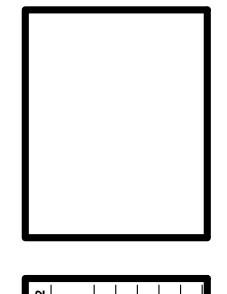
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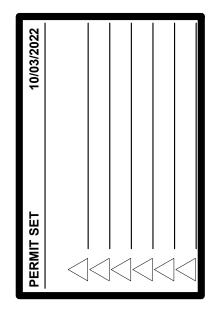
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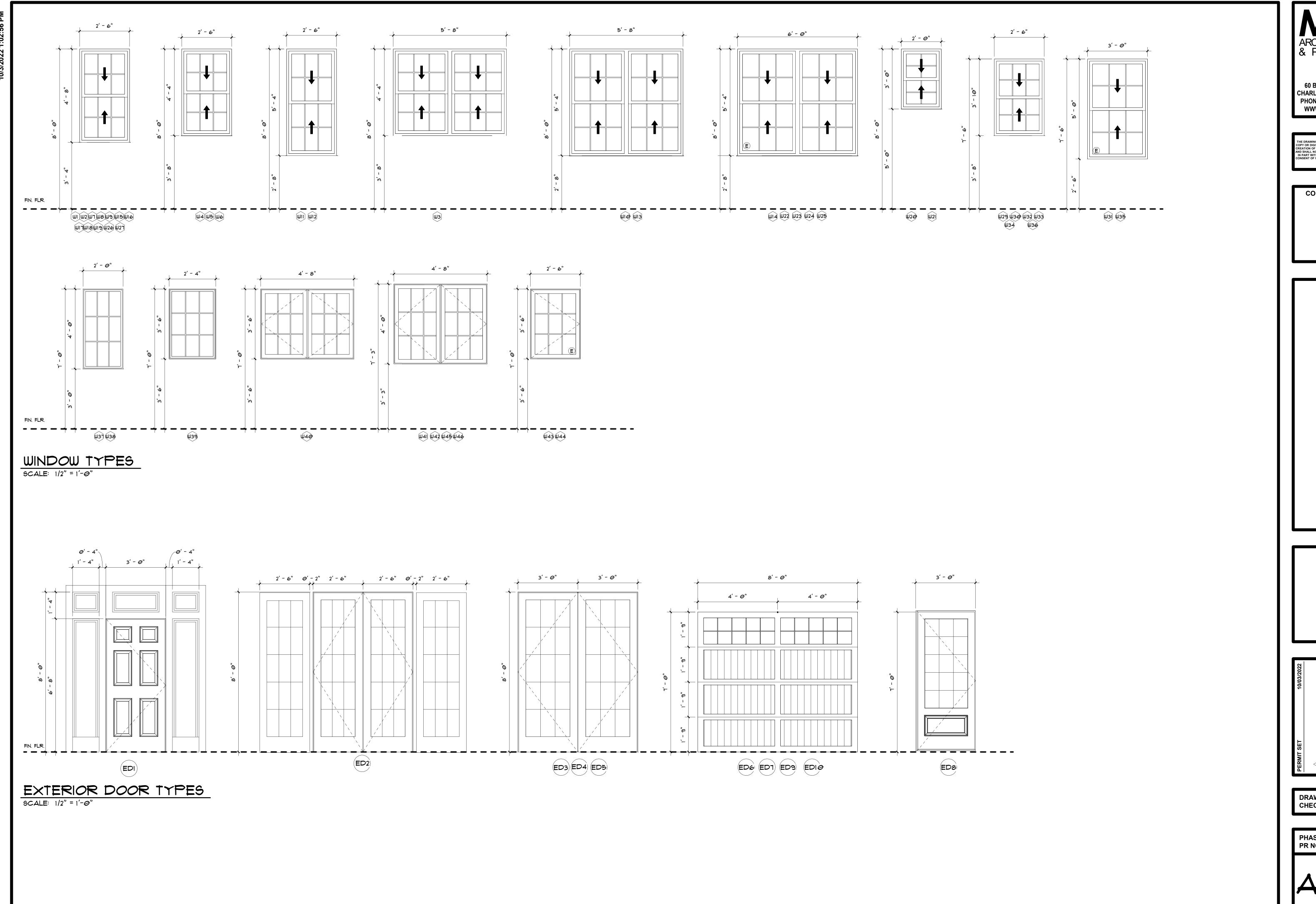




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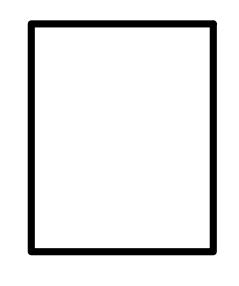


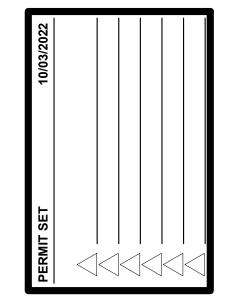
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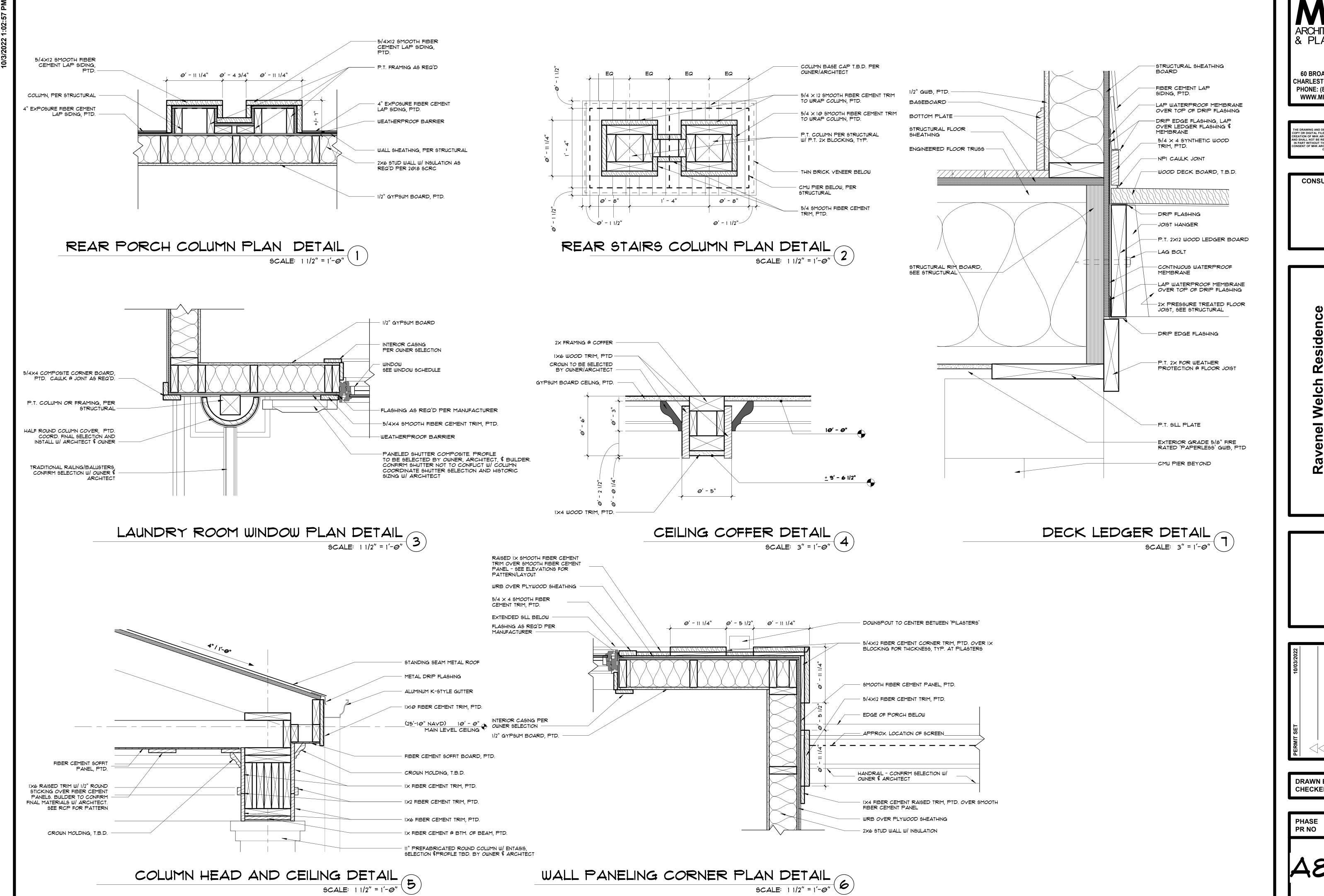
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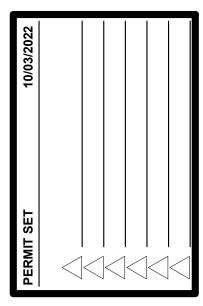
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