

10/3/2022 12:55:49 PM



Ravenel Welch Residence

100 FARMFIELD AVENUE

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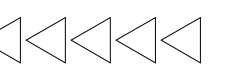
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CONSULTANT:

Ravenel Welch Residence
100 FARMFIELD AVENUE

10/03/2022

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PR NO 21357

AO

ABBREVIATIONS:

Table of abbreviations for construction documents, including terms like ABOVE FINISHED FLOOR, ACCESS, ADJACENT, and various material and structural codes.

GENERAL NOTES:

1. IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.

2018 SC RESIDENTIAL CODE

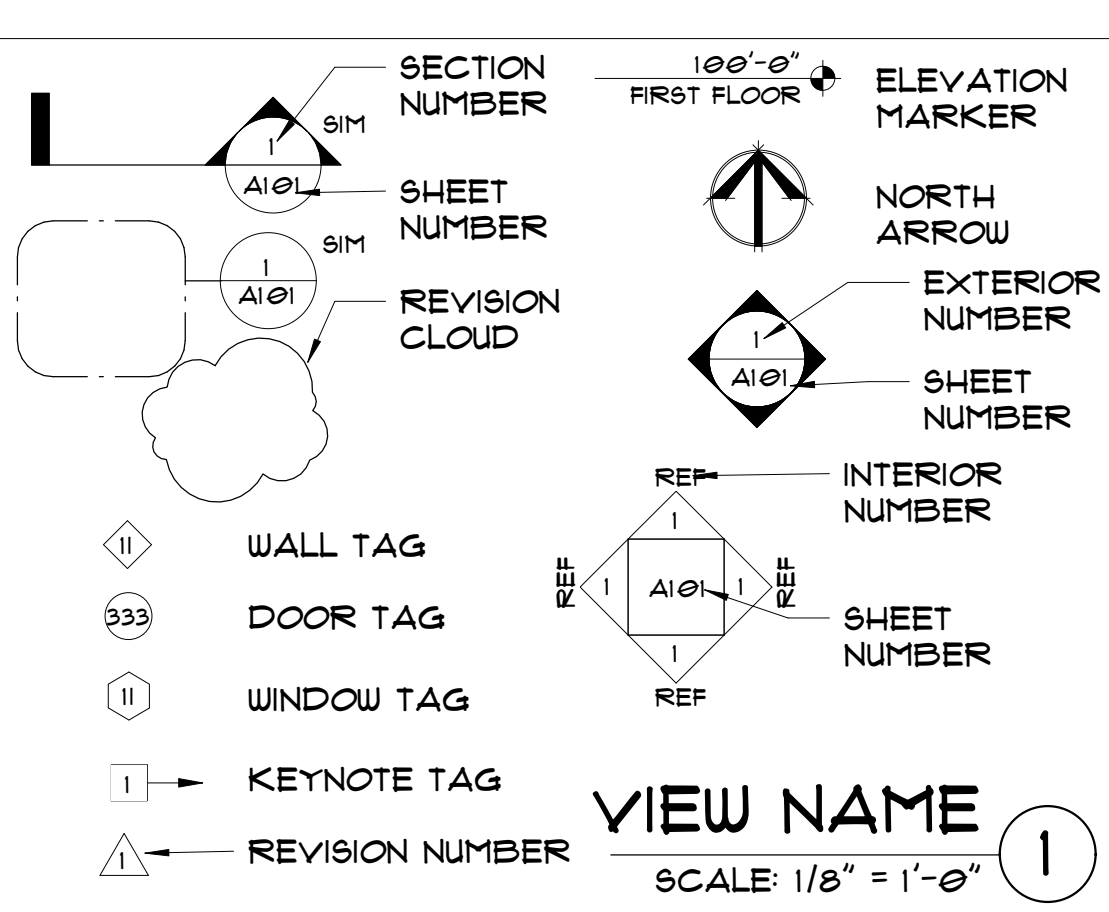
OCCUPANCY: R-3 SINGLE FAMILY
CITY OF CHARLESTON APPLICABLE CODES
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2011 NATIONAL ELECTRICAL CODE (NFPA 70)

TERMITE PROTECTION:

1. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.

SQUARE FOOTAGES table showing MAIN HOUSE (HEATED), MAIN HOUSE (COVERED/UNHEATED), GUEST HOUSE (HEATED), and GUEST HOUSE (COVERED/UNHEATED) with floor area and total roofed area.

STANDARD SYMBOLS:



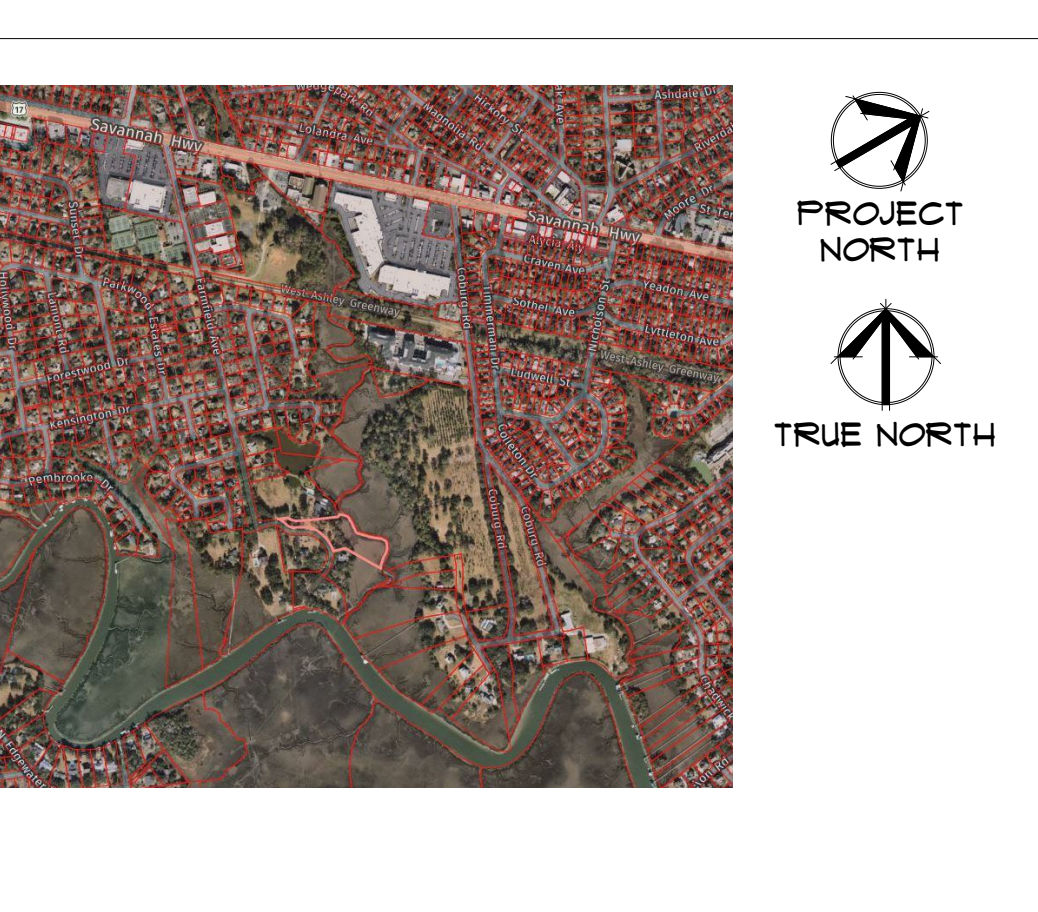
DRAWING INDEX:

Table listing drawing sheets and their contents, including ARCHITECTURE (A0, A0.1, A1.0, A1.1, A2.0, A2.1, A2.2, A2.3, A2.4, A3.0, A4.0, A4.1, A4.2, A4.3, A5.0, A5.1, A5.2, A5.3, A5.4, A6.0, A6.1, A6.2, A6.3, A6.4, A6.5, A6.6, A6.7, A6.8), LANDSCAPE (L300), STRUCTURAL (S1, S2, S3, S4, S5, S6, S7, S8, S9, S10, S11, S12, S13, S14, S15, S16, S17, S18, S19, S20, S21, S22, S23, S24, S25), and DETAILS (D1, D2, D3, D4, D5).

MATERIAL LEGEND:

Table of material legend symbols and descriptions, including BRICK, STEEL, RIGID INSULATION, EARTH, UNDISTURBED EARTH, GRAVEL, SIDING, STRUCTURAL CONCRETE, CERAMIC TILE, ALUMINUM, PLYWOOD, SHINGLES, GYP. BD., LUMBER, BLOCKING, FINISH WOOD, GLASS, and CMU.

PROJECT LOCATION MAP:



PROJECT DESIGN TEAM:

OWNER: RUTHIE RAVENEL & CHRIS WELCH
ARCHITECT: MHK ARCHITECTURE & PLANNING
STRUCTURAL ENGINEER: RESIDENTIAL STRUCTURES, P.C.
LANDSCAPE ARCHITECT: LINCK LANDSCAPE ARCHITECTURE, LLC

PROJECT SUMMARY:

THIS IS A PERMIT APPLICATION FOR A SINGLE FAMILY RESIDENCE TO BE CONSTRUCTED ON AN EXISTING 1.04 ACRE SINGLE FAMILY LOT LOCATED AT 100 FARMFIELD AVENUE IN THE CITY OF CHARLESTON, SC.

MHK ARCHITECTURE & PLANNING logo and contact information: 60 BROAD STREET, CHARLESTON, SC 29401, PHONE: (843)203-6025, WWW.MHKAP.COM

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CONSULTANT: RAVENEL WELCH RESIDENCE

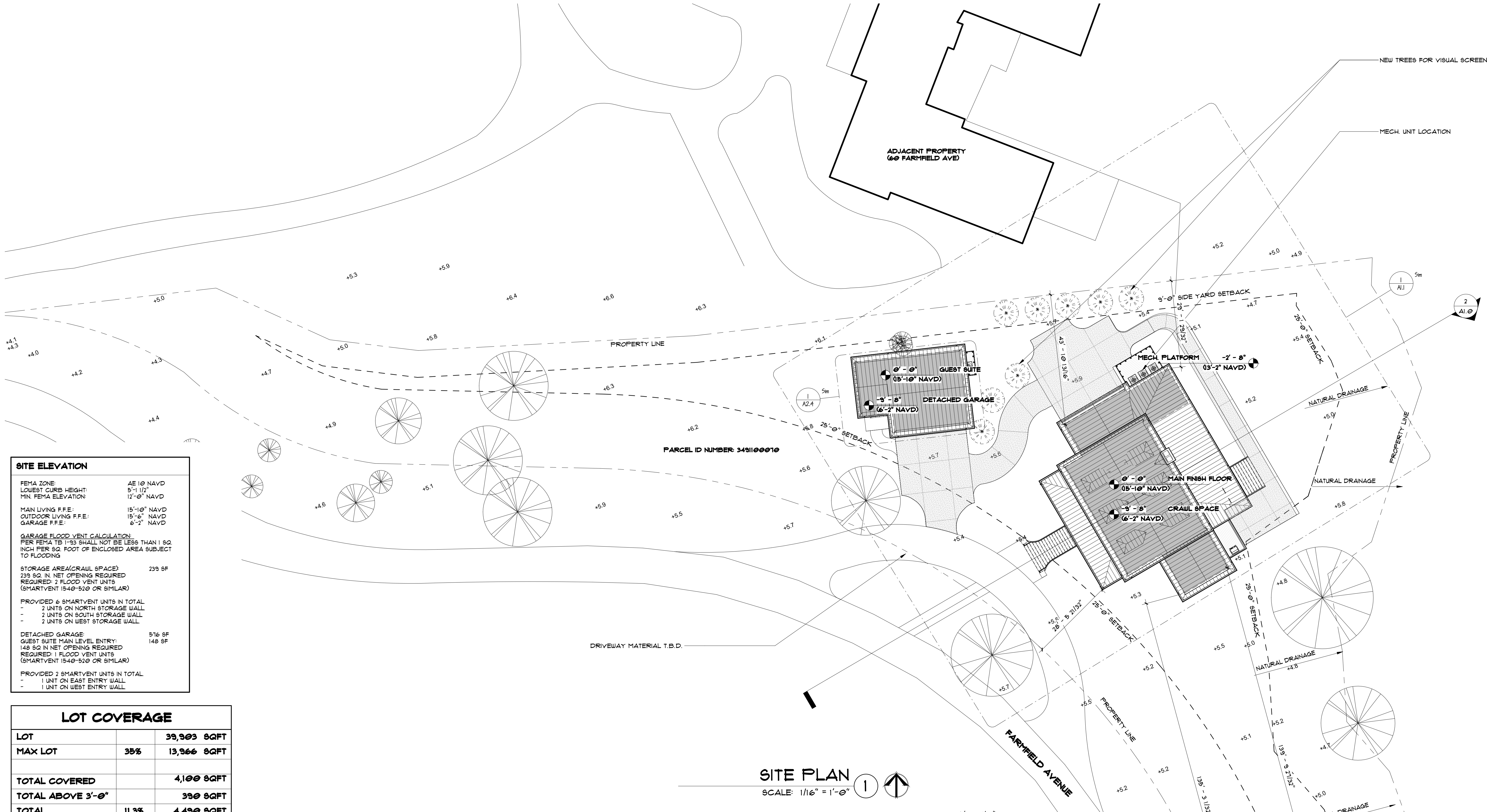
100 FARMFIELD AVENUE
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A0.1



SITE ELEVATION

FEMA ZONE	AE 10 NAVD
LOWEST CURB HEIGHT	5'-1 1/2"
MIN. FEMA ELEVATION	12'-0" NAVD
MAIN LIVING F.F.E.	15'-10" NAVD
OUTDOOR LIVING F.F.E.	15'-0" NAVD
GARAGE F.F.E.	6'-2" NAVD

GARAGE FLOOD VENT CALCULATION:
PER FEMA 118-1-53 SHALL NOT BE LESS THAN 1 SQ. INCH PER SQ. FOOT OF ENCLOSED AREA SUBJECT TO FLOODING

STORAGE AREA (CRAWL SPACE)	239 SF
239 SQ. IN. NET OPENING REQUIRED	
REQUIRED: 2 FLOOD VENT UNITS	
(SMARTVENT 1540-520 OR SIMILAR)	

PROVIDED 6 SMARTVENT UNITS IN TOTAL
 - 2 UNITS ON NORTH STORAGE WALL
 - 2 UNITS ON SOUTH STORAGE WALL
 - 2 UNITS ON WEST STORAGE WALL

DETACHED GARAGE	576 SF
GUEST SUITE MAIN LEVEL ENTRY:	149 SF
149 SQ. IN. NET OPENING REQUIRED	
REQUIRED: 1 FLOOD VENT UNIT	
(SMARTVENT 1540-520 OR SIMILAR)	

PROVIDED 2 SMARTVENT UNITS IN TOTAL
 - 1 UNIT ON EAST ENTRY WALL
 - 1 UNIT ON WEST ENTRY WALL

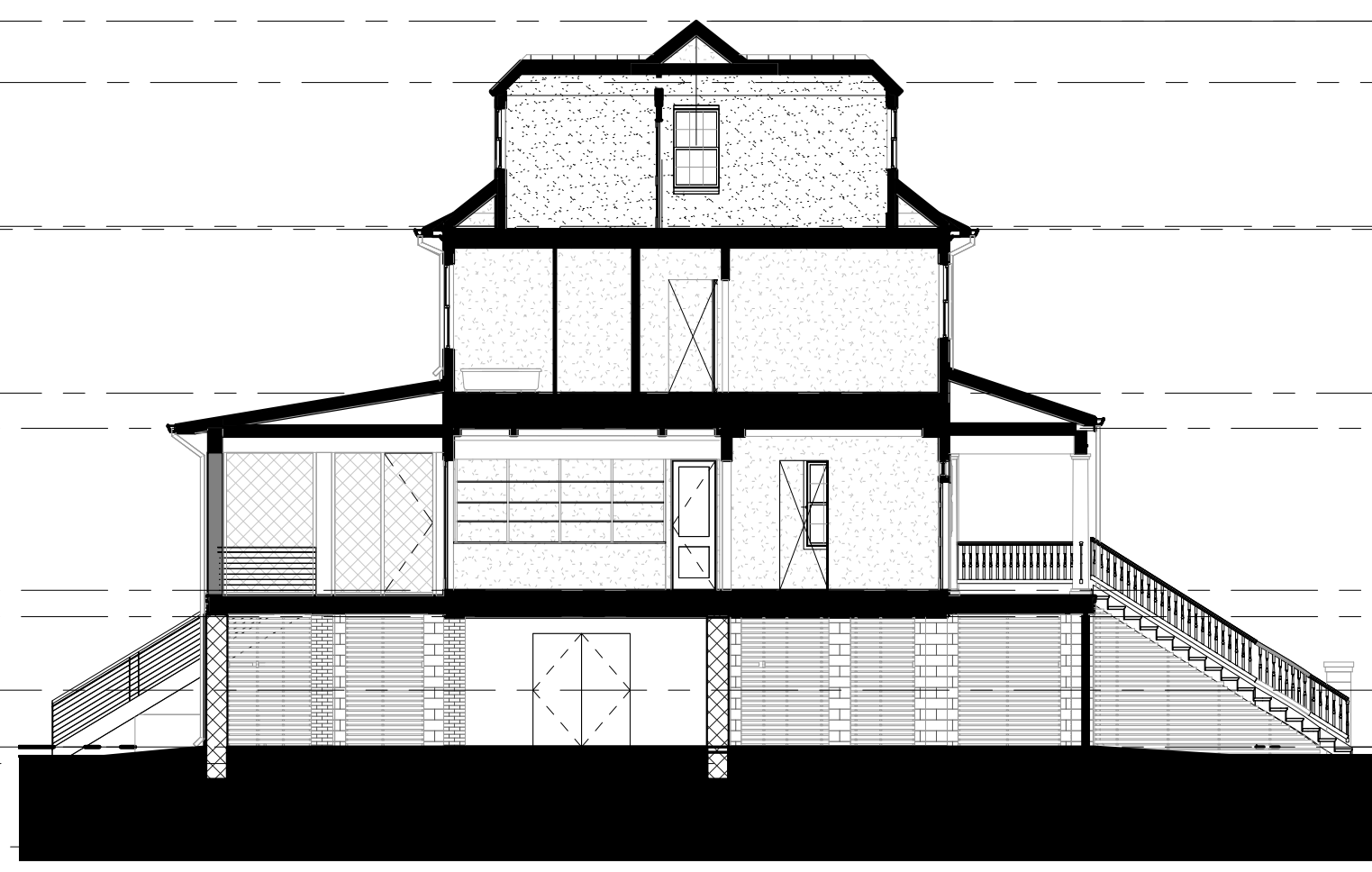
LOT COVERAGE

LOT		33,903 SQFT
MAX LOT	35%	13,966 SQFT
TOTAL COVERED		4,100 SQFT
TOTAL ABOVE 3'-0"		390 SQFT
TOTAL	11.3%	4,490 SQFT

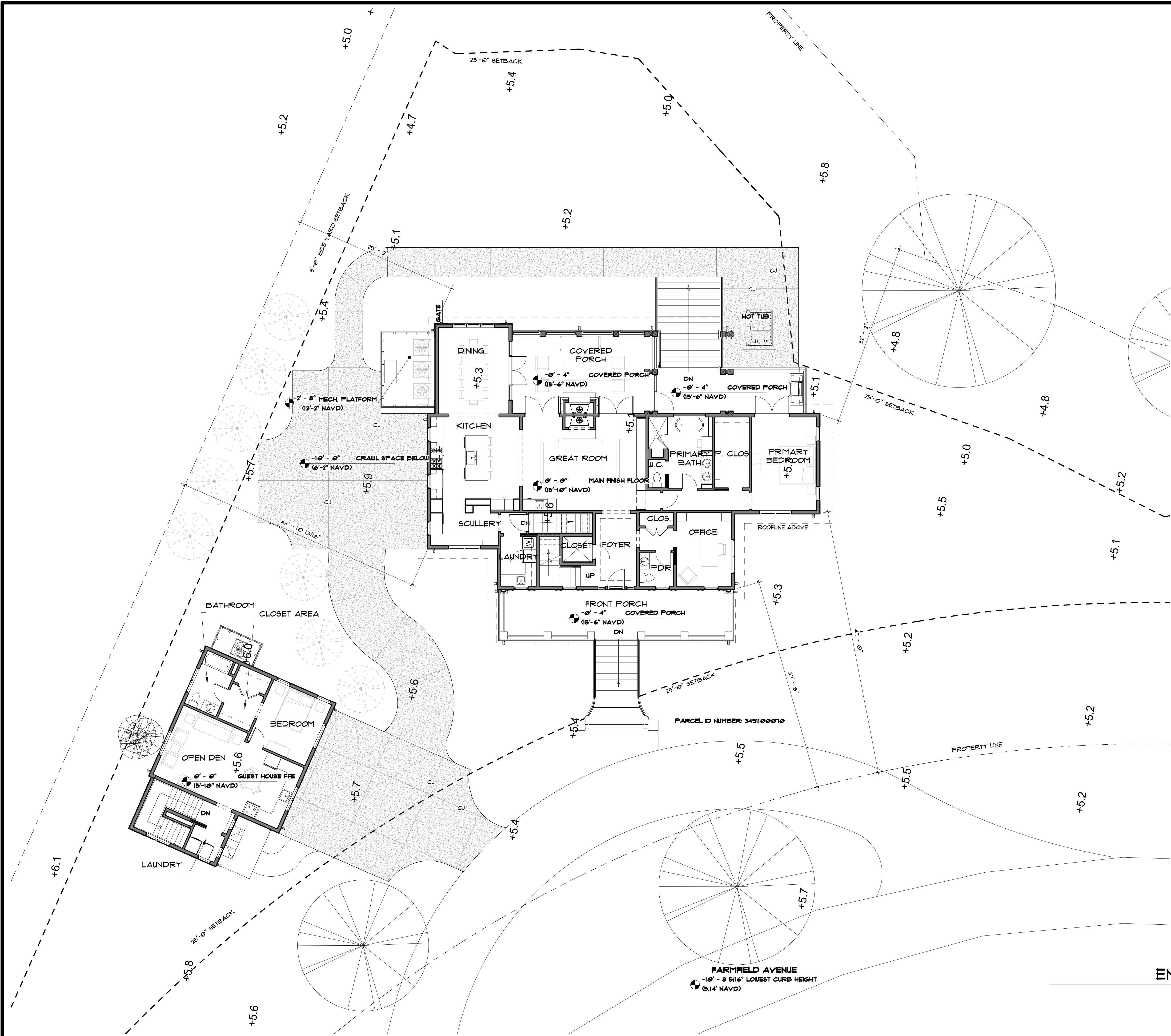
ZONING SUMMARY

DISTRICT	SR-1
FEMA	AE-10
LOWEST CURB	5'-1 1/2" FT NAVD
SETBACK	
FRONT	25 FT
SIDES	9 FT
REAR	25 FT
HEIGHT	
MAX	35 FT
MAX HEIGHT PER 54-505 C.	42 FT 4-11/32 IN
HEIGHT PER APPROVED VARIANCE (04.19.2022)	46 FT 0 IN

SITE PLAN
SCALE: 1/16" = 1'-0"



SITE SECTION
SCALE: 3/32" = 1'-0"



ZONING SUMMARY

DISTRICT	OR-1
FEMA	AE-10
LOWEST CURB	5'-1 1/2" FT NAVD
SETBACK	
FRONT	25 FT
SIDES	9 FT
REAR	25 FT
HEIGHT	
MAX	35 FT
MAX HEIGHT PER 54-509 C.	42 FT 4-11/32 IN
HEIGHT PER APPROVED VARIANCE (04.19.2022)	46 FT 0 IN

LOT COVERAGE

LOT	39,903 SQFT
MAX LOT	35% 13,966 SQFT
TOTAL COVERED	4,100 SQFT
TOTAL ABOVE 3'-0"	390 SQFT
TOTAL	11.3% 4,490 SQFT

SQUARE FOOTAGES

MAIN HOUSE (HEATED)	
MAIN LEVEL	1809 SQFT
UPPER LEVEL	1094 SQFT
ATTIC LEVEL	601 SQFT
TOTAL HEATED (HOUSE)	3506 SQFT
MAIN HOUSE (COVERED/UNHEATED)	
RAISED CRAWL SPACE	1949 SQFT
OUTDOOR LIVING	533 SQFT
ENTRY/PORCH	365 SQFT
TOTAL COVERED/UNHEATED (MAIN HOUSE)	2847 SQFT
TOTAL ROOFED AREA (MAIN HOUSE)	6353 SQFT
GUEST HOUSE (HEATED)	
MAIN LEVEL ENTRY	148 SQFT
M.L. SUITE	696 SQFT
TOTAL HEATED (GUEST HOUSE)	844 SQFT
GUEST HOUSE (COVERED/UNHEATED)	
DETACHED GARAGE	516 SQFT
ENTRY PORCH	60 SQFT
TOTAL COVERED/UNHEATED (GUEST HOUSE)	636 SQFT
TOTAL ROOFED AREA (GUEST HOUSE)	1,480 SQFT
TOTAL OVERALL ROOFED AREA	7833 SQFT

SITE ELEVATION

FEMA ZONE	AE 10 NAVD
LOWEST CURB HEIGHT:	5'-1 1/2" NAVD
MIN. FEMA ELEVATION:	12'-0" NAVD
MAIN LIVING F.F.E.:	15'-10" NAVD
OUTDOOR LIVING F.F.E.:	15'-6" NAVD
GARAGE F.F.E.:	6'-2" NAVD
GARAGE FLOOD VENT CALCULATION: PER FEMA TB 1-93 SHALL NOT BE LESS THAN 1 SQ INCH PER SQ FOOT OF ENCLOSED AREA SUBJECT TO FLOODING	
STORAGE AREA(CRAWL SPACE):	239 SF
239 SQ IN. NET OPENING REQUIRED	
REQUIRED: 2 FLOOD VENT UNITS (SMARTVENT 1540-520 OR SIMILAR)	
PROVIDED 6 SMARTVENT UNITS IN TOTAL	
- 2 UNITS ON NORTH STORAGE WALL	
- 2 UNITS ON SOUTH STORAGE WALL	
- 2 UNITS ON WEST STORAGE WALL	
DETACHED GARAGE	516 SF
GUEST SUITE MAIN LEVEL ENTRY:	148 SF
148 SQ IN NET OPENING REQUIRED	
REQUIRED: 1 FLOOD VENT UNITS (SMARTVENT 1540-520 OR SIMILAR)	
PROVIDED 2 SMARTVENT UNITS IN TOTAL	
- 1 UNIT ON EAST ENTRY WALL	
- 1 UNIT ON WEST ENTRY WALL	

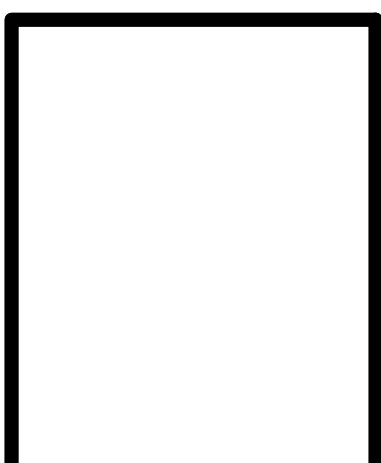
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CONSULTANT:

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100 FARMFIELD AVENUE



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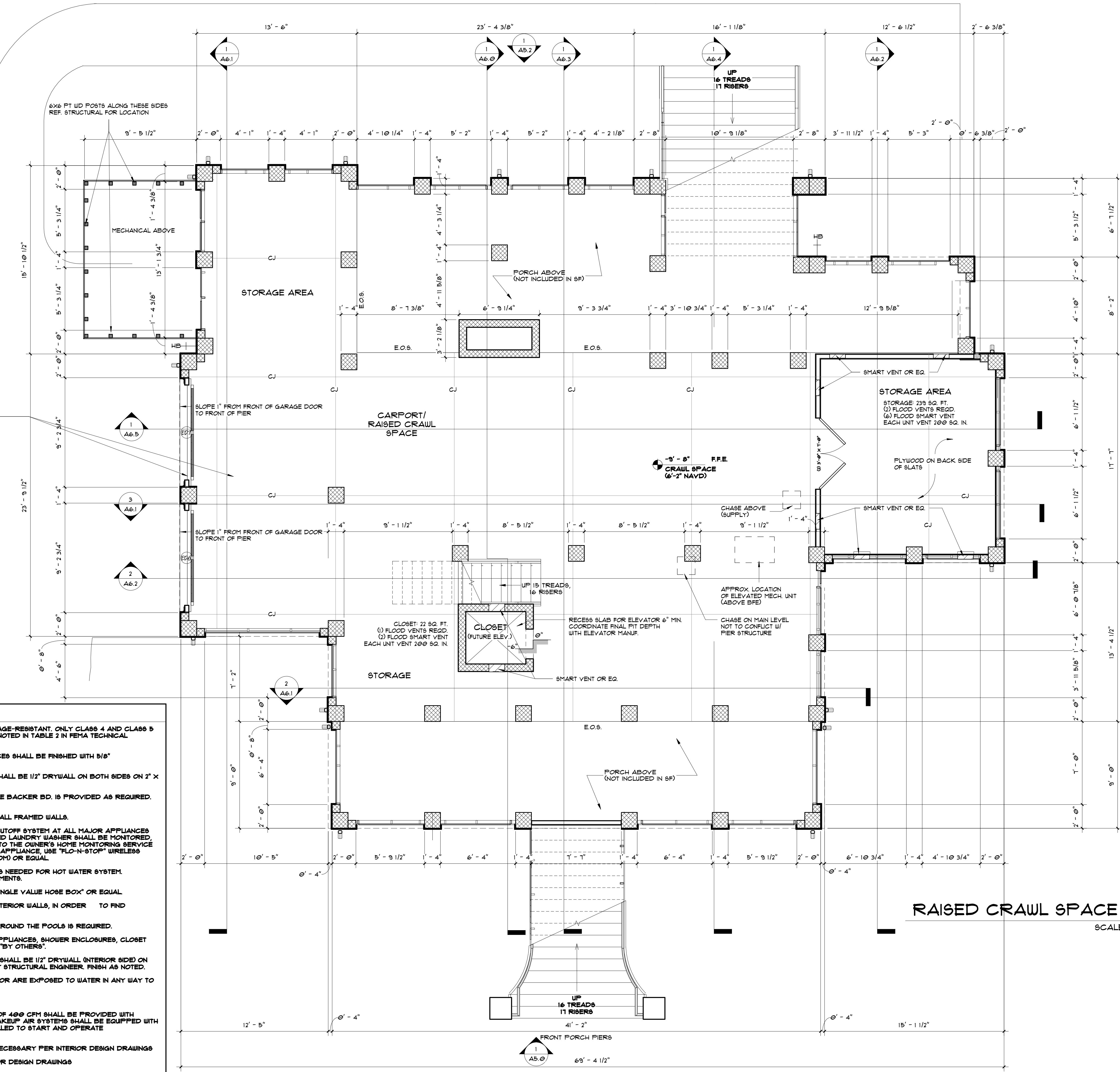
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ENLARGED SITE PLAN 1
SCALE: 1/8" = 1'-0"

SQUARE FOOTAGES	
MAIN HOUSE (HEATED)	
MAIN LEVEL	1805 SQFT
UPPER LEVEL	1034 SQFT
ATTIC LEVEL	601 SQFT
TOTAL HEATED (HOUSE)	3506 SQFT
MAIN HOUSE (COVERED/UNHEATED)	
RAISED CRAWL SPACE	1949 SQFT
OUTDOOR LIVING	533 SQFT
ENTRY/PORCH	365 SQFT
TOTAL COVERED/UNHEATED (MAIN HOUSE)	2847 SQFT
TOTAL ROOFED AREA (MAIN HOUSE)	6353 SQFT
GUEST HOUSE (HEATED)	
MAIN LEVEL ENTRY	148 SQFT
M.L. SUITE	696 SQFT
TOTAL HEATED (GUEST HOUSE)	844 SQFT
GUEST HOUSE (COVERED/UNHEATED)	
DETACHED GARAGE	516 SQFT
ENTRY PORCH	60 SQFT
TOTAL COVERED/UNHEATED (GUEST HOUSE)	636 SQFT
TOTAL ROOFED AREA (GUEST HOUSE)	1,480 SQFT
TOTAL OVERALL ROOFED AREA	7833 SQFT



GENERAL NOTES

- A. ALL BUILDING MATERIALS BELOW THE BFE MUST BE FLOOD DAMAGE-RESISTANT. ONLY CLASS 4 AND CLASS 5 MATERIALS ARE ACCEPTABLE FOR AREAS BELOW THE BFE AS NOTED IN TABLE 2 IN FEMA TECHNICAL BULLETIN #2
 - B. GARAGE WALLS AND CEILING THAT ABUT INTERIOR LIVING SPACES SHALL BE FINISHED WITH 5/8" 'DENSARMOR PLUS' FIREGUARD
 - C. UNLESS OTHERWISE NOTED OR REQUIRED INTERIOR WALL TYPE SHALL BE 1/2" DRYWALL ON BOTH SIDES ON 2" X 4" WD. FRAMING @ 16" O.C. FINISHED AS DIRECTED.
 - D. AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. IS PROVIDED AS REQUIRED. WET WALLS WILL TYPICALLY GET WATER RESISTANT BOARD.
 - E. PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT ALL FRAMED WALLS.
 - F. THE RESIDENCE SHALL HAVE A REMOTE CONTROLLED WATER SHUTOFF SYSTEM AT ALL MAJOR APPLIANCES UTILIZING EXTERNAL HOSES. THE REFRIGERATOR DISHWASHER AND LAUNDRY WASHER SHALL BE MONITORED. THE SHUTOFF SYSTEM WILL BE CAPABLE OF SENDING A SIGNAL TO THE OWNER'S HOME MONITORING SERVICE AND WILL AUTOMATICALLY SHUT OFF THE WATER SUPPLY TO THE APPLIANCE. USE 'FLO-N-STOP' WIRELESS REMOTE CONTROLLED WATER SECURITY SYSTEM (FLO-N-STOP.COM) OR EQUAL.
 - G. CONTRACTOR SHALL COORDINATE QUANTITY OF WATER HEATERS NEEDED FOR HOT WATER SYSTEM. LOCATION(S) TO BE DETERMINED BASED UPON SYSTEM REQUIREMENTS.
 - H. HOSE BIBS SHALL HAVE RECESSED INTO CMU WALL "BRADLEY SINGLE VALUE HOSE BOX" OR EQUAL.
 - I. BUILDER SHALL LAYOUT 1ST LEVEL SLAB PRIOR TO BEGINNING INTERIOR WALLS, IN ORDER TO FIND DISCREPANCIES.
 - J. IF THERE IS NO SCREEN CAGE @ POOL SPA, A SAFETY FENCE AROUND THE POOL IS REQUIRED.
 - K. CABINETS AND COUNTERTOPS, MIRRORS, PLUMBING FIXTURES, APPLIANCES, SHOWER ENCLOSURES, CLOSET STORAGE SYSTEMS, VANITIES AND MISCELLANEOUS MILLWORK IS "BY OTHERS".
 - L. UNLESS OTHERWISE NOTED OR REQUIRED, EXTERIOR WALL TYPE SHALL BE 1/2" DRYWALL (INTERIOR SIDE) ON 2x6 WD. STUDFRAMING. SPECIES AND SPACING AS SPECIFIED BY STRUCTURAL ENGINEER. FINISH AS NOTED.
 - M. ALL FRAMING MEMBERS THAT TOUCH CONCRETE OR MASONRY, OR ARE EXPOSED TO WATER IN ANY WAY TO BE PRESSURE TREATED.
- KITCHEN NOTES:**
- A. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
 - B. MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS
 - C. FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS

RAISED CRAWL SPACE LEVEL
SCALE: 1/4" = 1'-0"

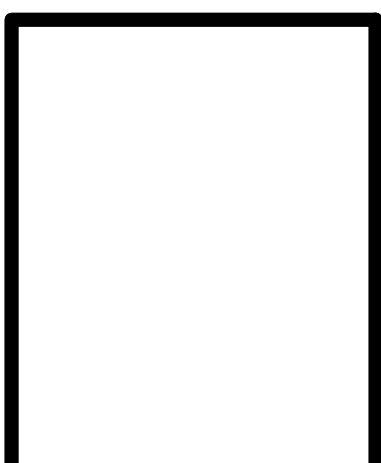
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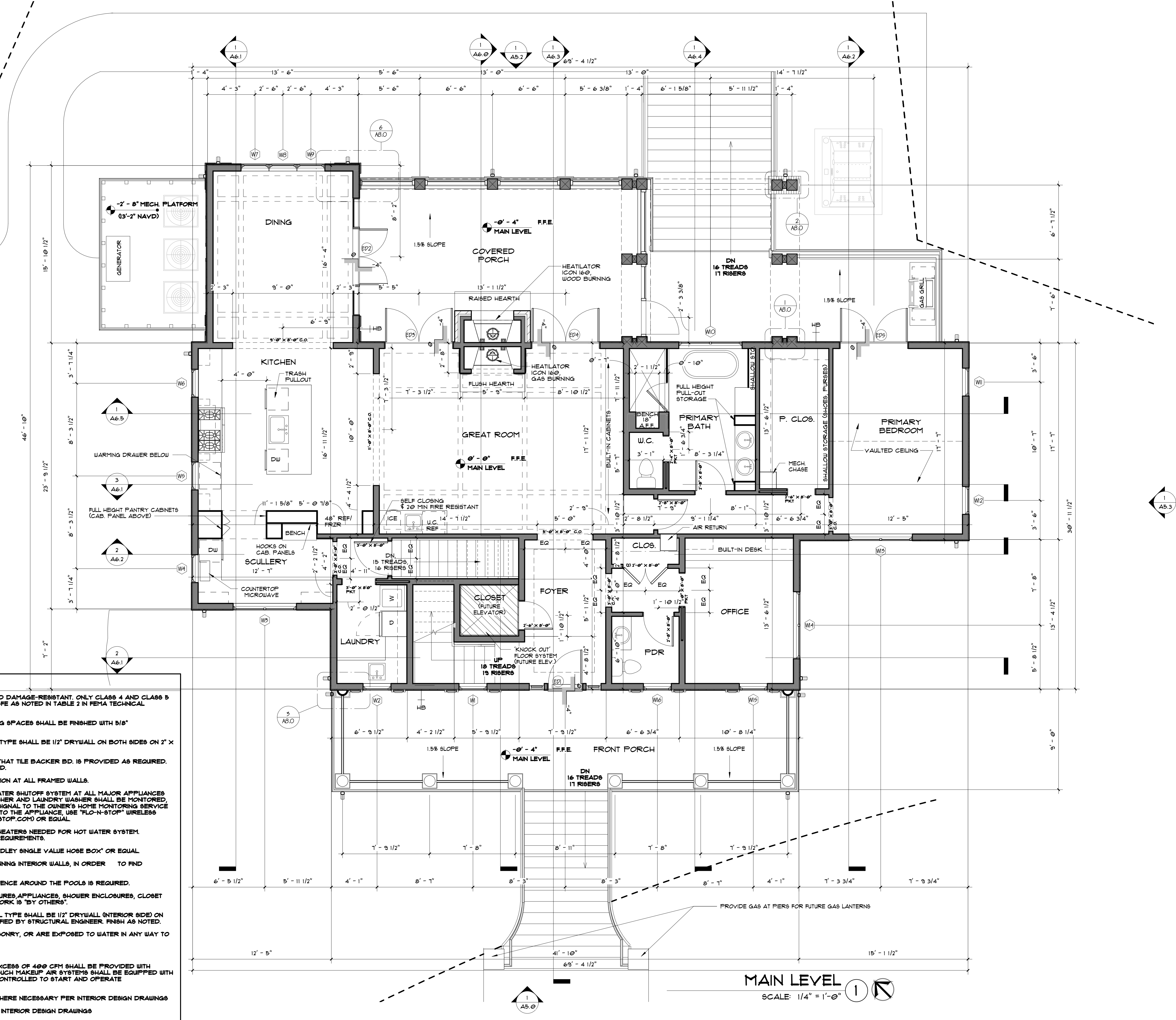
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SQUARE FOOTAGES

MAIN HOUSE (HEATED)	
MAIN LEVEL	1805 SQFT
UPPER LEVEL	1034 SQFT
ATTIC LEVEL	601 SQFT
TOTAL HEATED (HOUSE)	3440 SQFT
MAIN HOUSE (COVERED/UNHEATED)	
RAISED CRAWL SPACE	1545 SQFT
OUTDOOR LIVING	533 SQFT
ENTRY/PORCH	365 SQFT
TOTAL COVERED/UNHEATED (MAIN HOUSE)	2843 SQFT
TOTAL ROOFED AREA (MAIN HOUSE)	6383 SQFT
GUEST HOUSE (HEATED)	
MAIN LEVEL ENTRY	148 SQFT
M.I.L. SUITE	696 SQFT
TOTAL HEATED (GUEST HOUSE)	844 SQFT
GUEST HOUSE (COVERED/UNHEATED)	
DETACHED GARAGE	516 SQFT
ENTRY PORCH	60 SQFT
TOTAL COVERED/UNHEATED (GUEST HOUSE)	636 SQFT
TOTAL ROOFED AREA (GUEST HOUSE)	1,480 SQFT
TOTAL OVERALL ROOFED AREA	
	1833 SQFT



GENERAL NOTES

- A. ALL BUILDING MATERIALS BELOW THE BFE MUST BE FLOOD DAMAGE-RESISTANT. ONLY CLASS 4 AND CLASS 5 MATERIALS ARE ACCEPTABLE FOR AREAS BELOW THE BFE AS NOTED IN TABLE 2 IN FEMA TECHNICAL BULLETIN #2.
- B. GARAGE WALLS AND CEILING THAT ABUT INTERIOR LIVING SPACES SHALL BE FINISHED WITH 5/8" 'DENSARMOR PLUS' FIREGUARD.
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- D. AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. IS PROVIDED AS REQUIRED. WET WALLS WILL TYPICALLY GET WATER RESISTANT BOARD.
- E. PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT ALL FRAMED WALLS.
- F. THE RESIDENCE SHALL HAVE A REMOTE CONTROLLED WATER SHUTOFF SYSTEM AT ALL MAJOR APPLIANCES UTILIZING EXTERNAL HOSES. THE REFRIGERATOR DISHWASHER AND LAUNDRY WASHER SHALL BE MONITORED. THE SHUTOFF SYSTEM WILL BE CAPABLE OF SENDING A SIGNAL TO THE OWNER'S HOME MONITORING SERVICE AND WILL AUTOMATICALLY SHUT OFF THE WATER SUPPLY TO THE APPLIANCE. USE "FLO-N-STOP" WIRELESS REMOTE CONTROLLED WATER SECURITY SYSTEM (FLO-N-STOP.COM) OR EQUAL.
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SQUARE FOOTAGES

MAIN HOUSE (HEATED)	
MAIN LEVEL	1005 SQFT
UPPER LEVEL	1034 SQFT
ATTIC LEVEL	601 SQFT
TOTAL HEATED (HOUSE)	3066 SQFT
MAIN HOUSE (COVERED/UNHEATED)	
RAISED CRAWL SPACE	1545 SQFT
OUTDOOR LIVING	533 SQFT
ENTRY/PORCH	365 SQFT
TOTAL COVERED/UNHEATED (MAIN HOUSE)	2841 SQFT
TOTAL ROOFED AREA (MAIN HOUSE)	6353 SQFT
GUEST HOUSE (HEATED)	
MAIN LEVEL ENTRY	148 SQFT
M.I.L. SUITE	696 SQFT
TOTAL HEATED (GUEST HOUSE)	844 SQFT
GUEST HOUSE (COVERED/UNHEATED)	
DETACHED GARAGE	516 SQFT
ENTRY PORCH	60 SQFT
TOTAL COVERED/UNHEATED (GUEST HOUSE)	636 SQFT
TOTAL ROOFED AREA (GUEST HOUSE)	1,480 SQFT
TOTAL OVERALL ROOFED AREA	10333 SQFT

CONFIRM CHASE WILL ACCOMMODATE FLUES ONCE FINAL FIREPLACES ARE SELECTED

ALUMINUM K-STYLE GUTTER, TYP.

DOWNSPOUTS, TYP.

DOWNSPOUT TO DRAIN TO REAR PORCH ROOF

1'-4" OVERHANG, TYP.

ALUMINUM K-STYLE GUTTER, TYP.

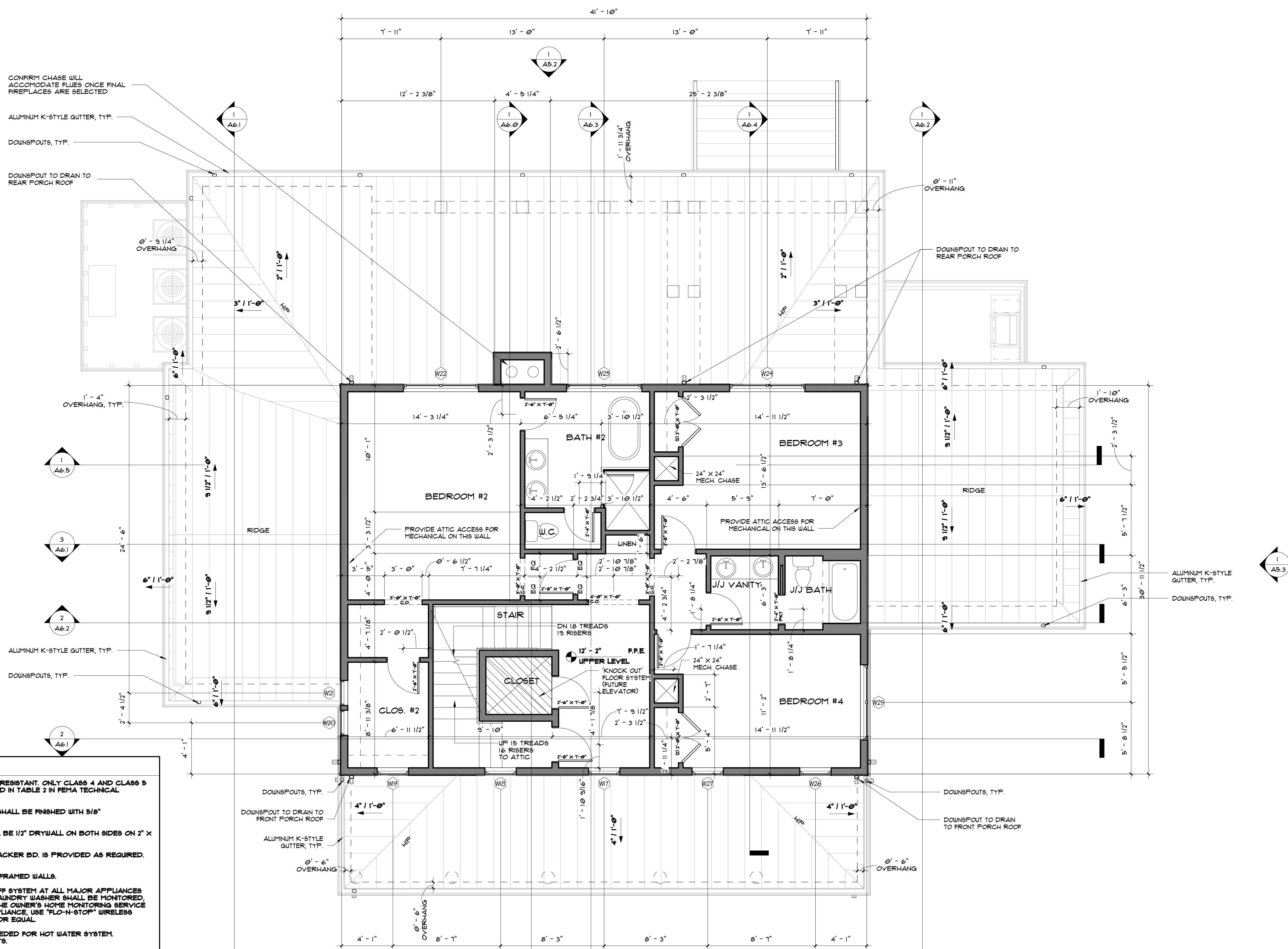
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- I. BUILDER SHALL LAYOUT 1ST LEVEL SLAB PRIOR TO BEGINNING INTERIOR WALLS, IN ORDER TO FIND DISCREPANCIES.
- J. IF THERE IS NO SCREEN CAGE @ POOL SPA, A SAFETY FENCE AROUND THE POOL IS REQUIRED.
- K. CABINETS AND COUNTERTOPS, MIRRORS, PLUMBING FIXTURES, APPLIANCES, SHOWER ENCLOSURES, CLOSET STORAGE SYSTEMS, VANITIES AND MISCELLANEOUS MILLWORK IS "BY OTHERS".
- L. UNLESS OTHERWISE NOTED OR REQUIRED, EXTERIOR WALL TYPE SHALL BE 1/2" DRYWALL (INTERIOR SIDE) ON 2x6 WD. STUDFRAMING. SPECIES AND SPACING AS SPECIFIED BY STRUCTURAL ENGINEER. FINISH AS NOTED.
- M. ALL FRAMING MEMBERS THAT TOUCH CONCRETE OR MASONRY, OR ARE EXPOSED TO WATER IN ANY WAY TO BE PRESSURE TREATED.

KITCHEN NOTES:

- A. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
- B. MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS.
- C. FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS.



UPPER LEVEL 1
SCALE: 1/4" = 1'-0"

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SQUARE FOOTAGES	
MAIN HOUSE (HEATED)	
MAIN LEVEL	1005 SQFT
UPPER LEVEL	1034 SQFT
ATTIC LEVEL	601 SQFT
TOTAL HEATED (HOUSE)	3566 SQFT
MAIN HOUSE (COVERED/UNHEATED)	
RAISED CRAWL SPACE	1545 SQFT
OUTDOOR LIVING	533 SQFT
ENTRY/PORCH	365 SQFT
TOTAL COVERED/UNHEATED (MAIN HOUSE)	2841 SQFT
TOTAL ROOFED AREA (MAIN HOUSE)	6353 SQFT
GUEST HOUSE (HEATED)	
MAIN LEVEL ENTRY	148 SQFT
M.I.L SUITE	696 SQFT
TOTAL HEATED (GUEST HOUSE)	844 SQFT
GUEST HOUSE (COVERED/UNHEATED)	
DETACHED GARAGE	516 SQFT
ENTRY PORCH	60 SQFT
TOTAL COVERED/UNHEATED (GUEST HOUSE)	636 SQFT
TOTAL ROOFED AREA (GUEST HOUSE)	1,480 SQFT
TOTAL OVERALL ROOFED AREA	10333 SQFT

CONFIRM CHASE WILL ACCOMMODATE FLUES ONCE FINAL FIREPLACES ARE SELECTED

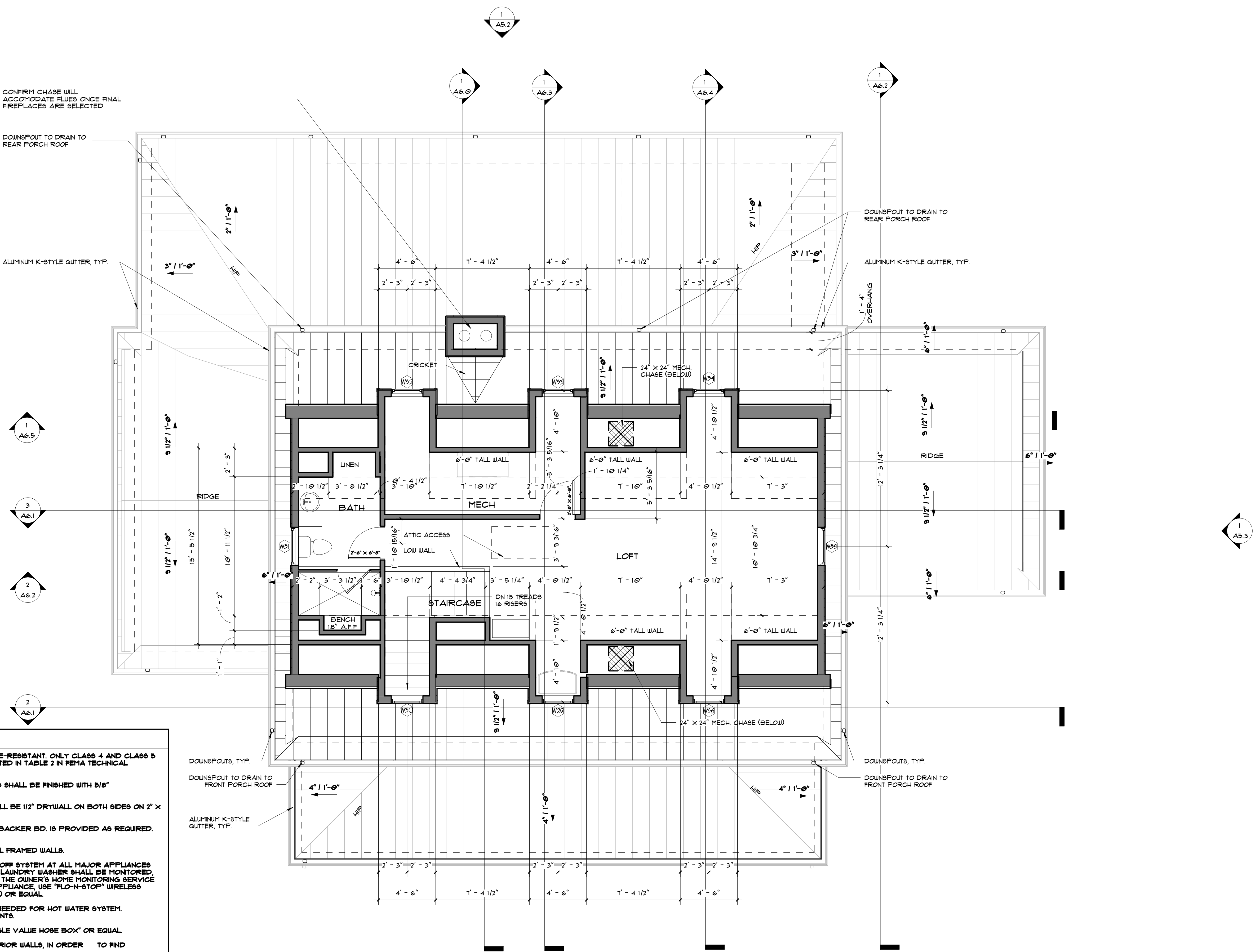
DOWNSPOUT TO DRAIN TO REAR PORCH ROOF

ALUMINUM K-STYLE GUTTER, TYP.

DOWNSPOUT TO DRAIN TO REAR PORCH ROOF

ALUMINUM K-STYLE GUTTER, TYP.

OVERHANG



GENERAL NOTES

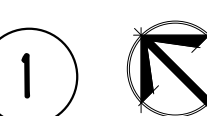
- A. ALL BUILDING MATERIALS BELOW THE BFE MUST BE FLOOD DAMAGE-RESISTANT. ONLY CLASS 4 AND CLASS 5 MATERIALS ARE ACCEPTABLE FOR AREAS BELOW THE BFE AS NOTED IN TABLE 2 IN FEMA TECHNICAL BULLETIN #2.
- B. GARAGE WALLS AND CEILING THAT ABUT INTERIOR LIVING SPACES SHALL BE FINISHED WITH 5/8" 'DENSARMOR PLUS' FIREGUARD.
- C. UNLESS OTHERWISE NOTED OR REQUIRED INTERIOR WALL TYPE SHALL BE 1/2" DRYWALL ON BOTH SIDES ON 2" X 4" W.D. FRAMING @ 16" O.C. FINISHED AS DIRECTED.
- D. AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. IS PROVIDED AS REQUIRED. WET WALLS WILL TYPICALLY GET WATER RESISTANT BOARD.
- E. PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT ALL FRAMED WALLS.
- F. THE RESIDENCE SHALL HAVE A REMOTE CONTROLLED WATER SHUTOFF SYSTEM AT ALL MAJOR APPLIANCES UTILIZING EXTERNAL HOSES. THE REFRIGERATOR DISHWASHER AND LAUNDRY WASHER SHALL BE MONITORED. THE SHUTOFF SYSTEM WILL BE CAPABLE OF SENDING A SIGNAL TO THE OWNER'S HOME MONITORING SERVICE AND WILL AUTOMATICALLY SHUT OFF THE WATER SUPPLY TO THE APPLIANCE. USE "FLO-N-STOP" WIRELESS REMOTE CONTROLLED WATER SECURITY SYSTEM (FLO-N-STOP.COM) OR EQUAL.
- G. CONTRACTOR SHALL COORDINATE QUANTITY OF WATER HEATERS NEEDED FOR HOT WATER SYSTEM. LOCATION(S) TO BE DETERMINED BASED UPON SYSTEM REQUIREMENTS.
- H. HOSE BIBS SHALL HAVE RECEDED INTO CMU WALL "BRADLEY SINGLE VALVE HOSE BOX" OR EQUAL.
- I. BUILDER SHALL LAYOUT 1ST LEVEL SLAB PRIOR TO BEGINNING INTERIOR WALLS, IN ORDER TO FIND DISCREPANCIES.
- J. IF THERE IS NO SCREEN CAGE @ POOL SPA, A SAFETY FENCE AROUND THE POOLS IS REQUIRED.
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- M. ALL FRAMING MEMBERS THAT TOUCH CONCRETE OR MASONRY, OR ARE EXPOSED TO WATER IN ANY WAY TO BE PRESURE TREATED.

KITCHEN NOTES:

- A. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
- B. MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS.
- C. FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS.

ATTIC LEVEL

SCALE: 1/4" = 1'-0"



MHK
ARCHITECTURE
& PLANNING

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CHARLESTON, SC 29401
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WWW.MHKAP.COM

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CONSULTANT:

Ravenel Welch Residence
100 FARMFIELD AVENUE

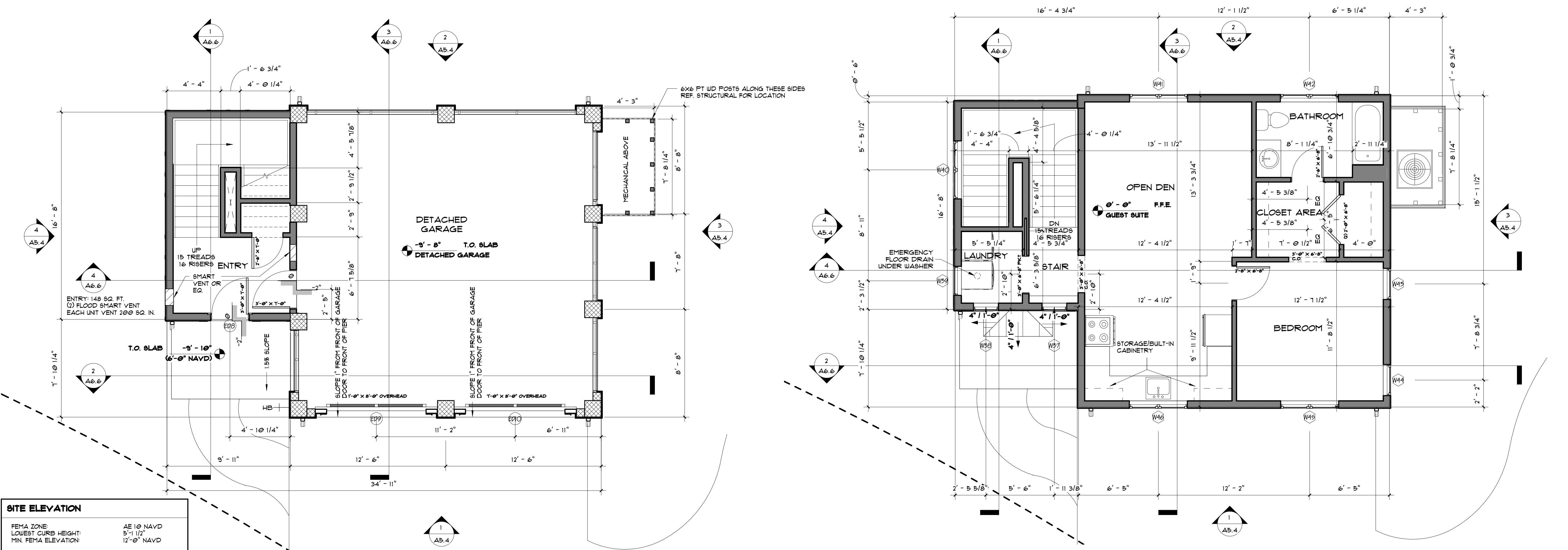
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A2.3



SITE ELEVATION

FEMA ZONE	AE 10 NAVD
LOWEST CURB HEIGHT	5'-1 1/2"
MIN. FEMA ELEVATION	12'-0" NAVD
MAIN LIVING F.F.E.	15'-10" NAVD
OUTDOOR LIVING F.F.E.	15'-6" NAVD
GARAGE F.F.E.	6'-2" NAVD

GARAGE FLOOD VENT CALCULATION:
PER FEMA TB 1-93 SHALL NOT BE LESS THAN 1 SQ INCH PER SQ FOOT OF ENCLOSED AREA SUBJECT TO FLOODING

STORAGE AREA (CRAWL SPACE)	239 SF
239 SQ IN NET OPENING REQUIRED	
REQUIRED: 2 FLOOD VENT UNITS (SMARTVENT 1540-920 OR SIMILAR)	

PROVIDED 6 SMARTVENT UNITS IN TOTAL
- 2 UNITS ON NORTH STORAGE WALL
- 2 UNITS ON SOUTH STORAGE WALL
- 2 UNITS ON WEST STORAGE WALL

DETACHED GARAGE	516 SF
GUEST SUITE MAIN LEVEL ENTRY:	148 SF
148 SQ IN NET OPENING REQUIRED	
REQUIRED: 1 FLOOD VENT UNITS (SMARTVENT 1540-920 OR SIMILAR)	

PROVIDED 2 SMARTVENT UNITS IN TOTAL
- 1 UNIT ON EAST ENTRY WALL
- 1 UNIT ON WEST ENTRY WALL

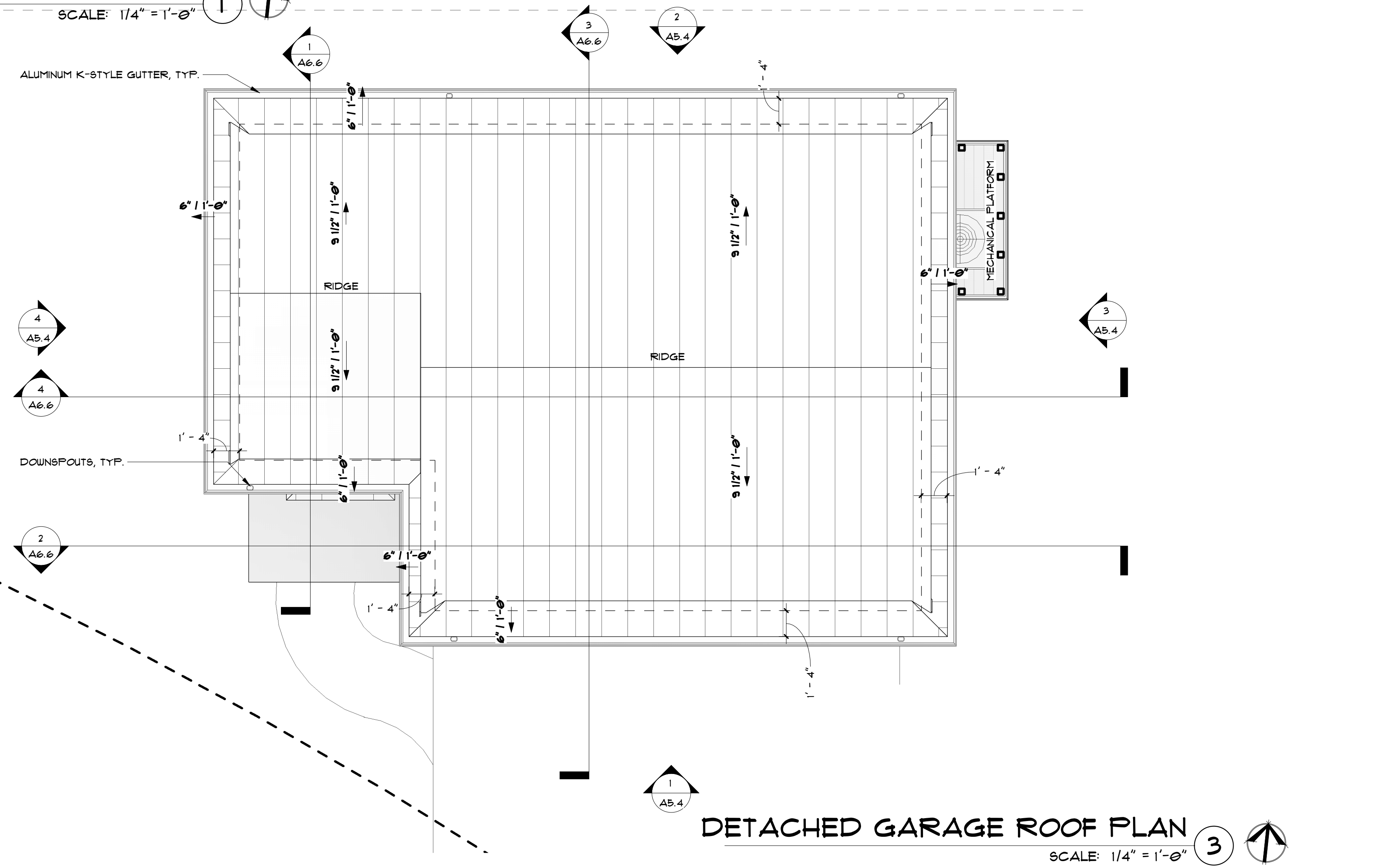
DETACHED GARAGE MAIN LEVEL ①

SCALE: 1/4" = 1'-0"

DETACHED GARAGE UPPER LEVEL ②

SCALE: 1/4" = 1'-0"

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 - FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS.



DETACHED GARAGE ROOF PLAN ③

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGES

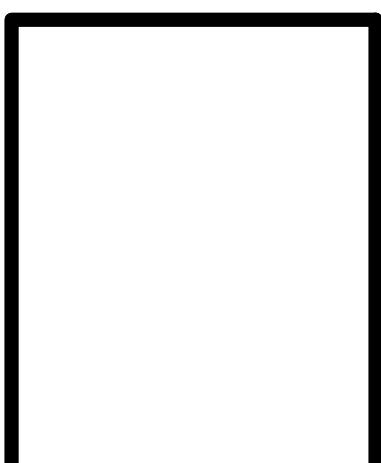
MAIN HOUSE (HEATED)	
MAIN LEVEL	1805 SQFT
UPPER LEVEL	1094 SQFT
ATTIC LEVEL	601 SQFT
TOTAL HEATED (HOUSE)	3500 SQFT
MAIN HOUSE (COVERED/UNHEATED)	
RAISED CRAWL SPACE	1949 SQFT
OUTDOOR LIVING	533 SQFT
ENTRY/PORCH	365 SQFT
TOTAL COVERED/UNHEATED (MAIN HOUSE)	2847 SQFT
TOTAL ROOFED AREA (MAIN HOUSE)	6353 SQFT
GUEST HOUSE (HEATED)	
MAIN LEVEL ENTRY	148 SQFT
MILL SUITE	696 SQFT
TOTAL HEATED (GUEST HOUSE)	844 SQFT
GUEST HOUSE (COVERED/UNHEATED)	
DETACHED GARAGE	516 SQFT
ENTRY PORCH	60 SQFT
TOTAL COVERED/UNHEATED (GUEST HOUSE)	636 SQFT
TOTAL ROOFED AREA (GUEST HOUSE)	1,480 SQFT

TOTAL OVERALL ROOFED AREA: 7833 SQFT

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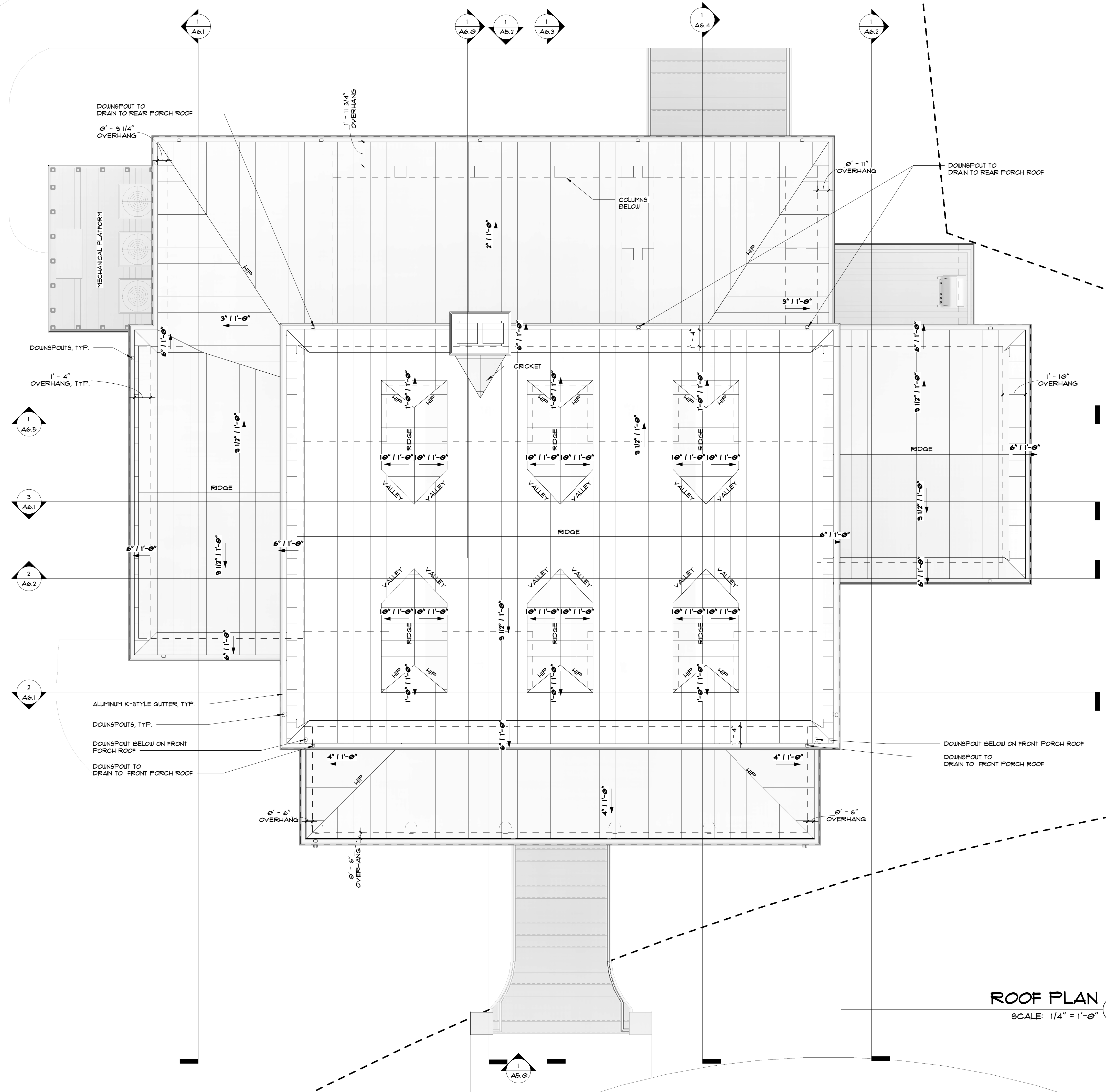


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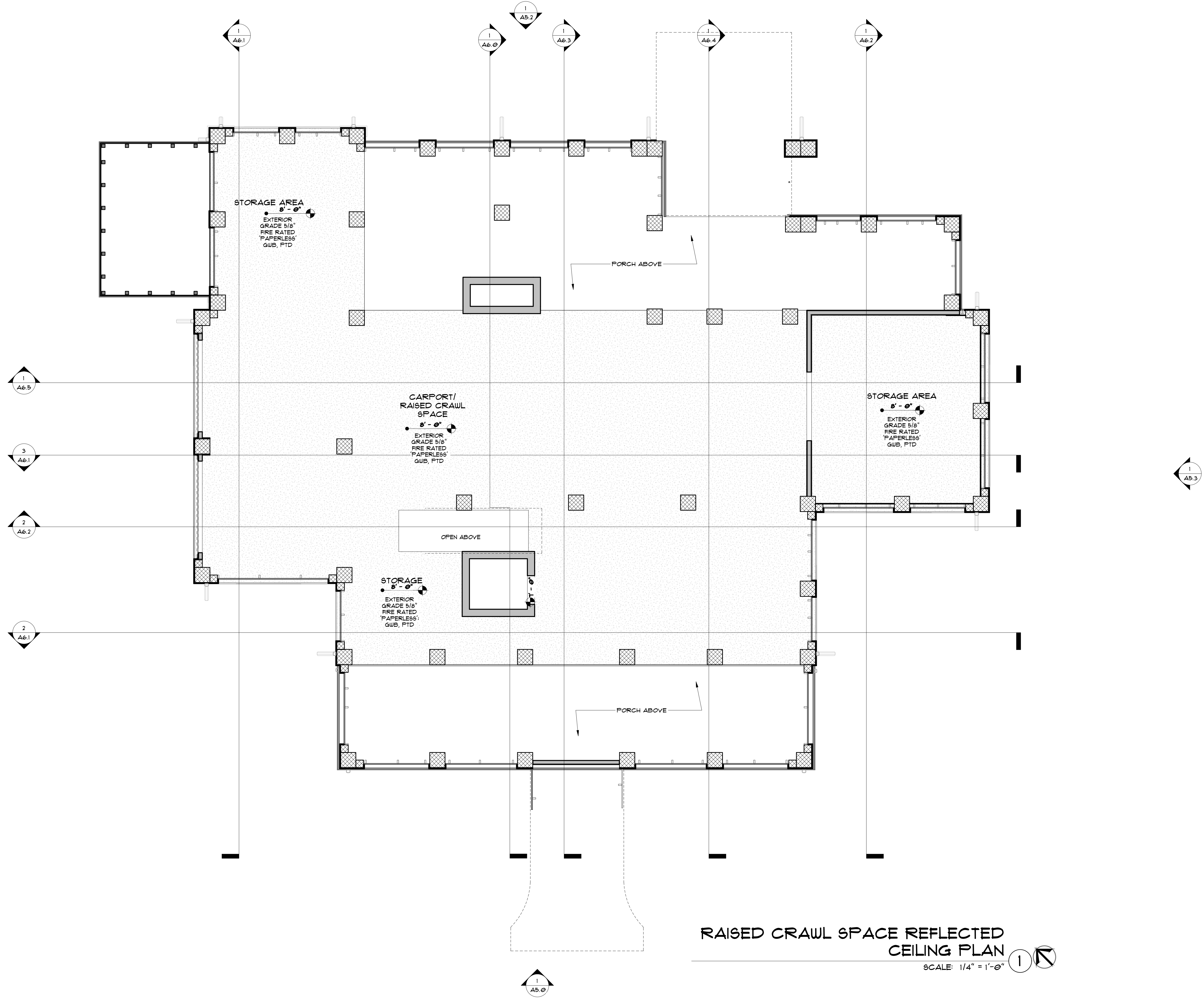
GENERAL

1. ALL NON-GALVALUM EXPOSED VERTICAL FLASHINGS TO BE PAINTED TO MATCH FIELD COLOR OF HOUSE
2. A/H ON PLATFORM IN ATTIC. G.C. TO COORDINATE W/MECHANICAL CONTRACTOR FOR A/H UNIT SIZE AND MINIMUM SERVICE AREA REQUIRED FOR MAINTENANCE AND PLATFORM SIZE

ROOF PLAN
SCALE: 1/4" = 1'-0"

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**RAISED CRAWL SPACE REFLECTED
CEILING PLAN**
SCALE: 1/4" = 1'-0" 1

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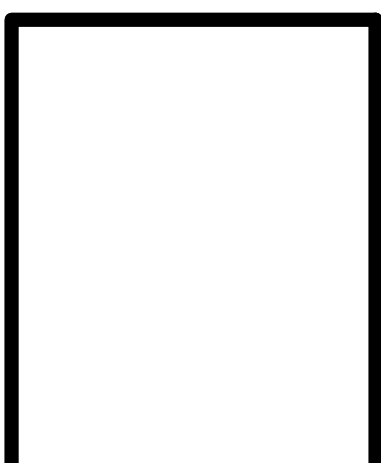
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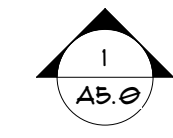
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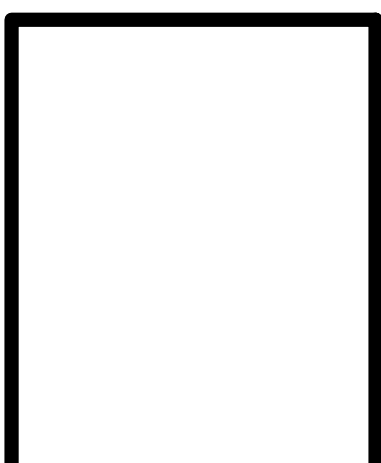
MAIN LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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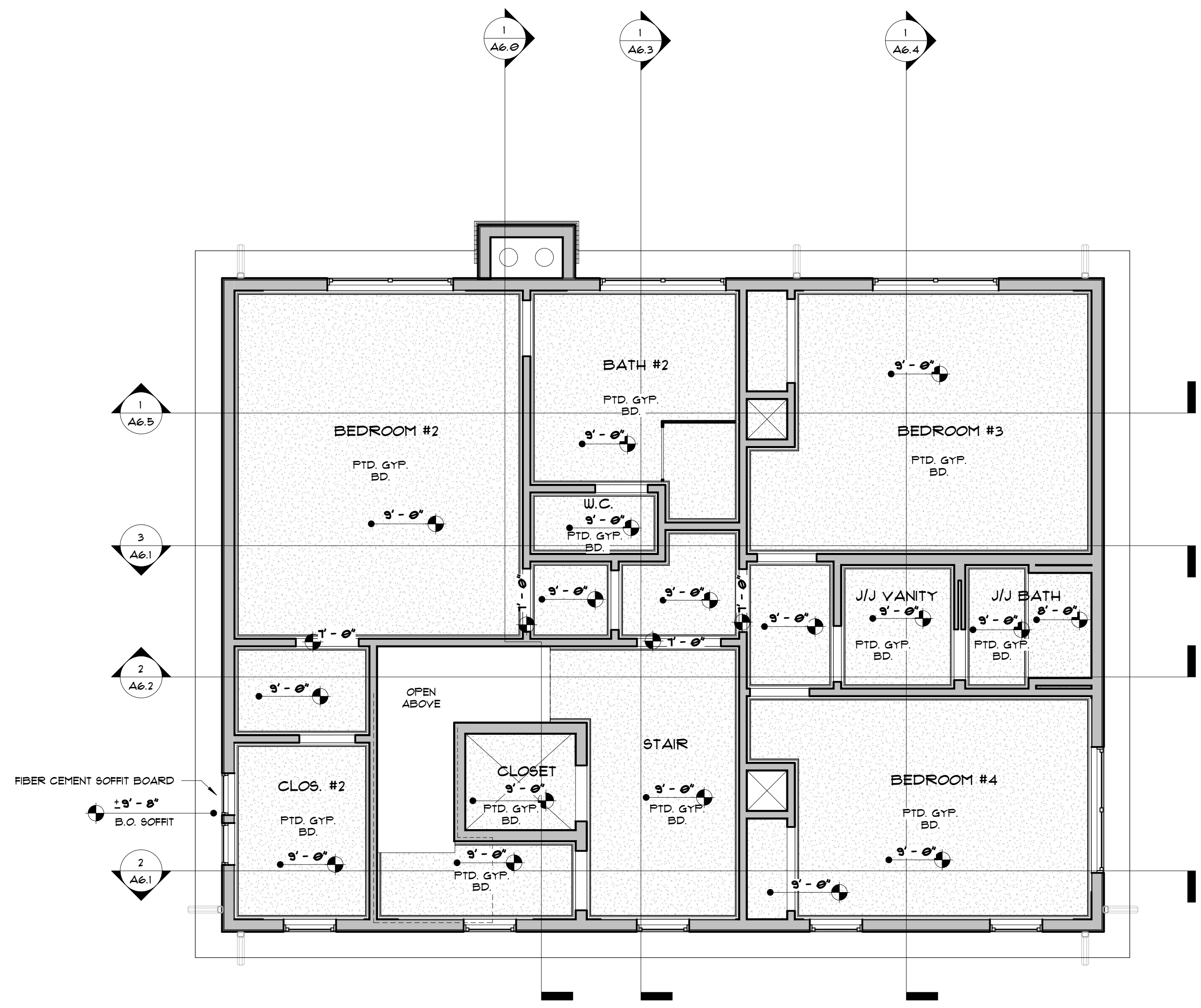


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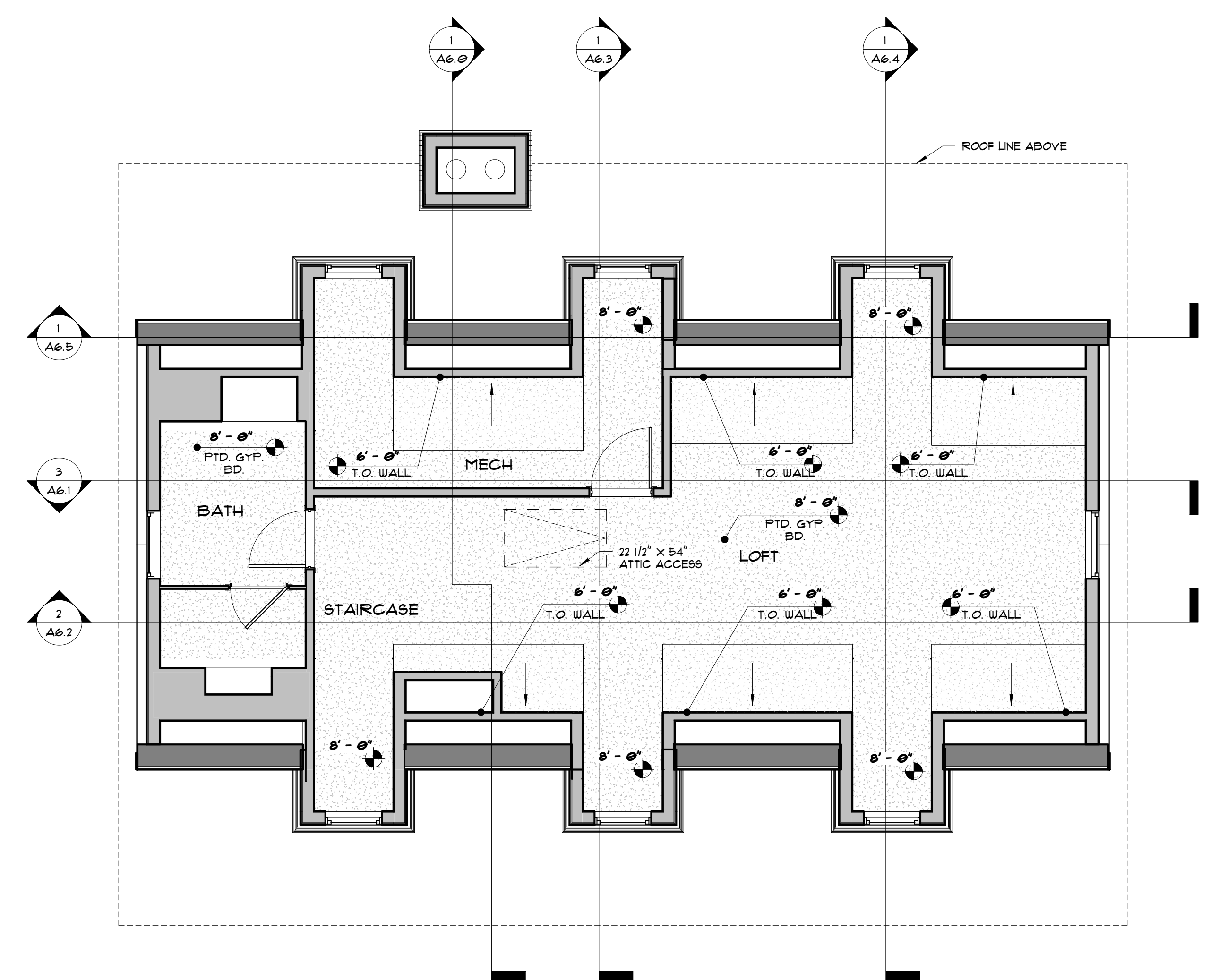
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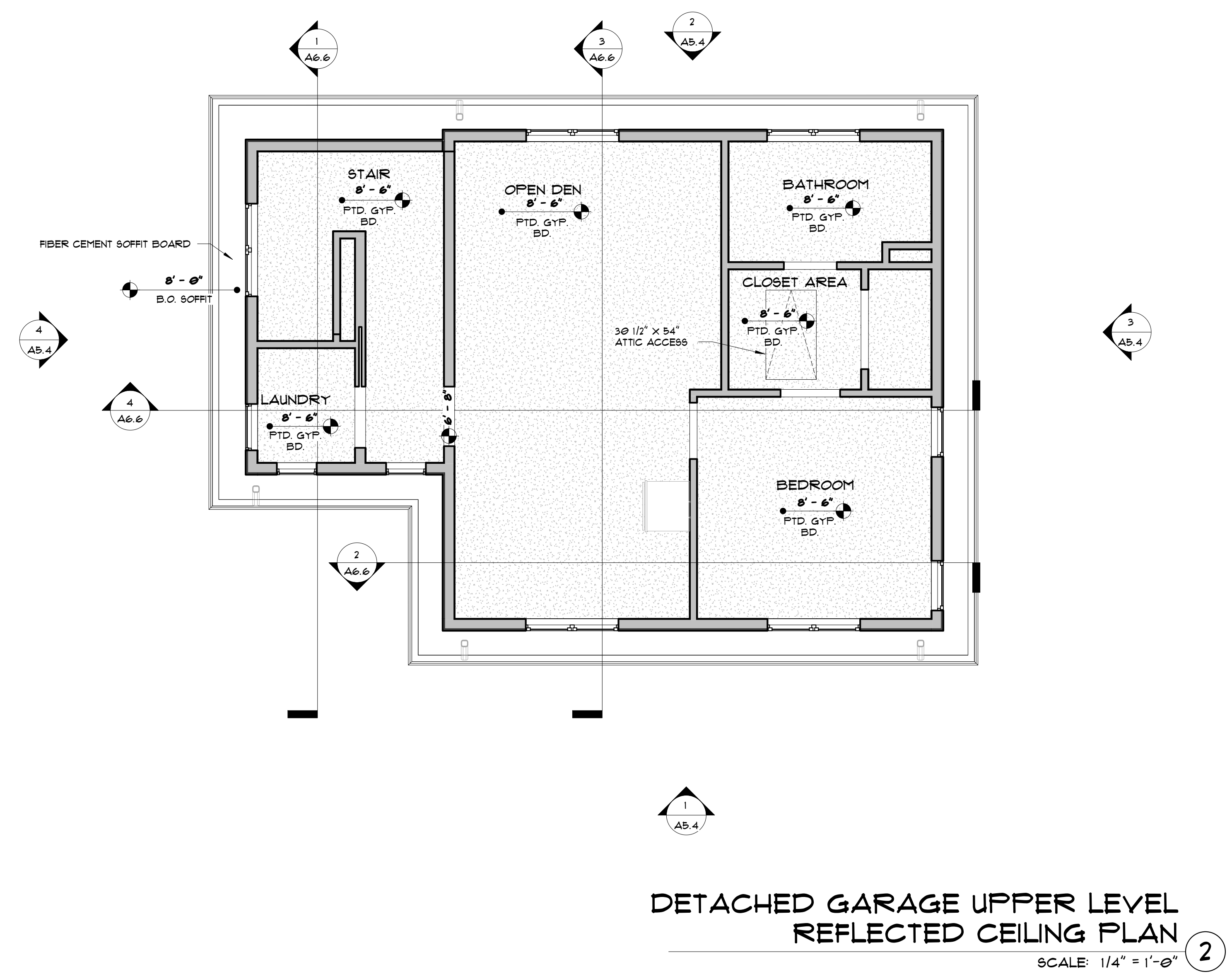
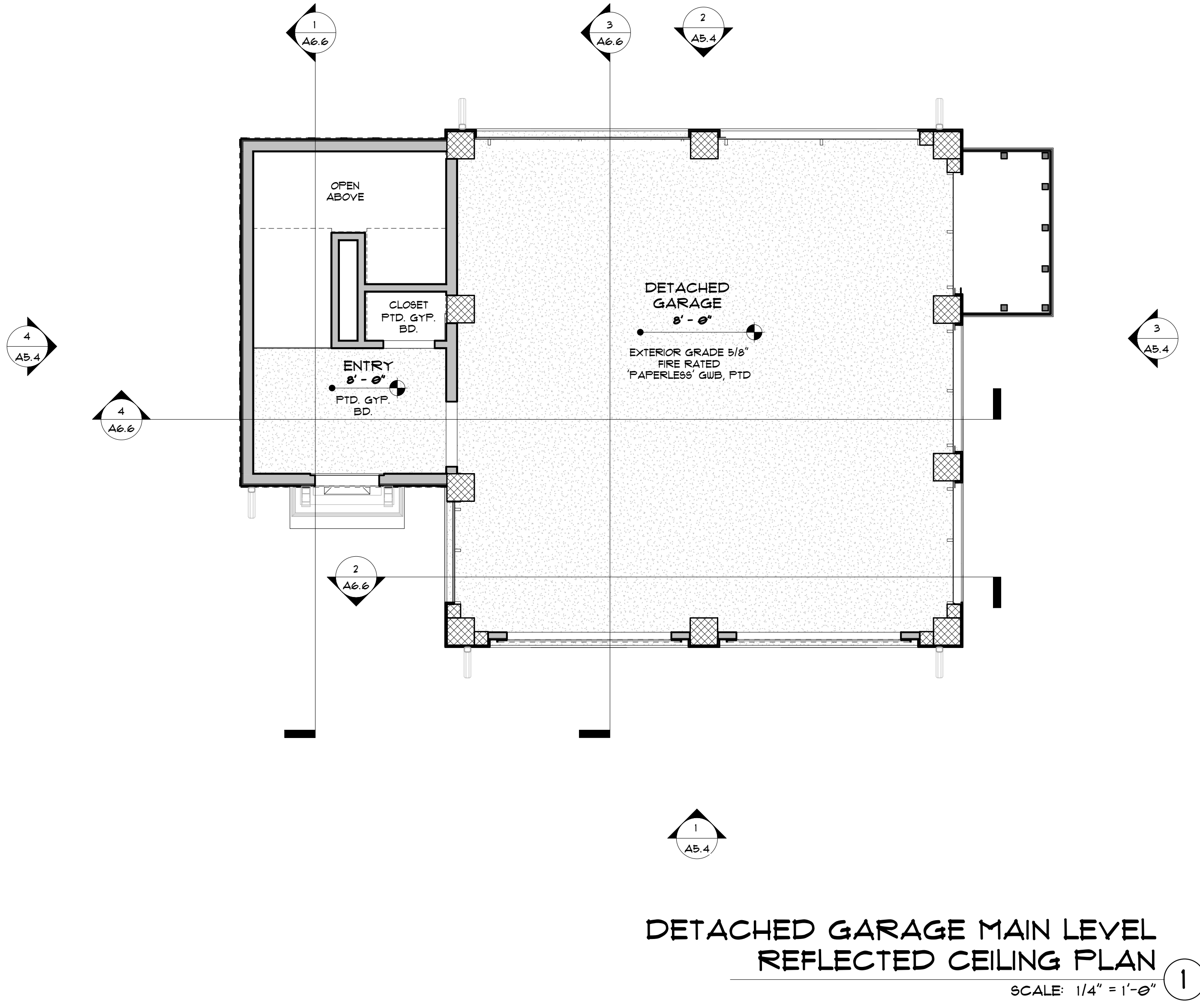
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UPPER LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0" 1



ATTIC LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0" 2



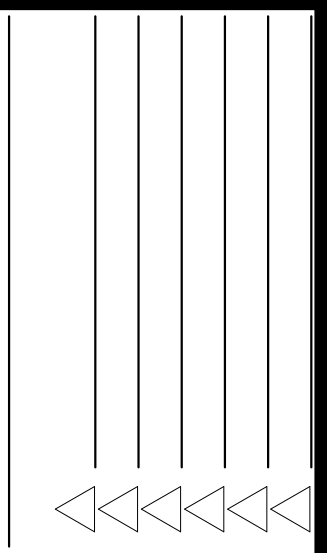


FRONT ELEVATION ①
SCALE: 1/4" = 1'-0"



WALL PANELING ELEVATION ②
SCALE: 1/4" = 1'-0"

LEFT ELEVATION ①
SCALE: 1/4" = 1'-0"



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A5.1

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A5.2



REAR ELEVATION ①
SCALE: 1/4" = 1'-0"

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RIGHT ELEVATION ①

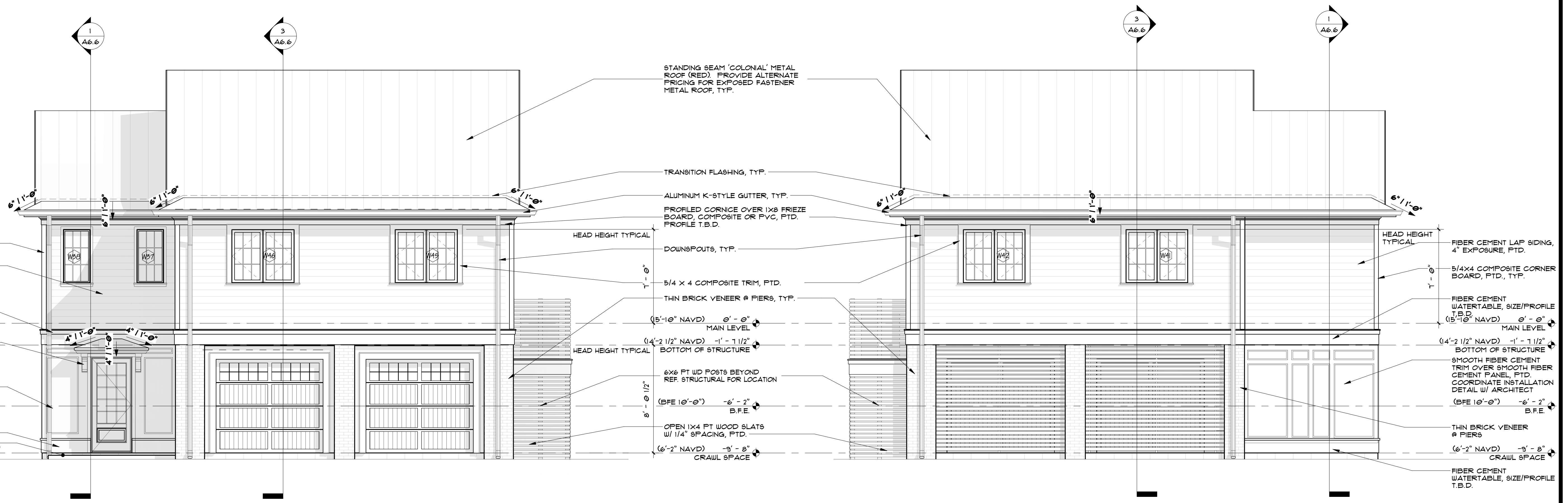
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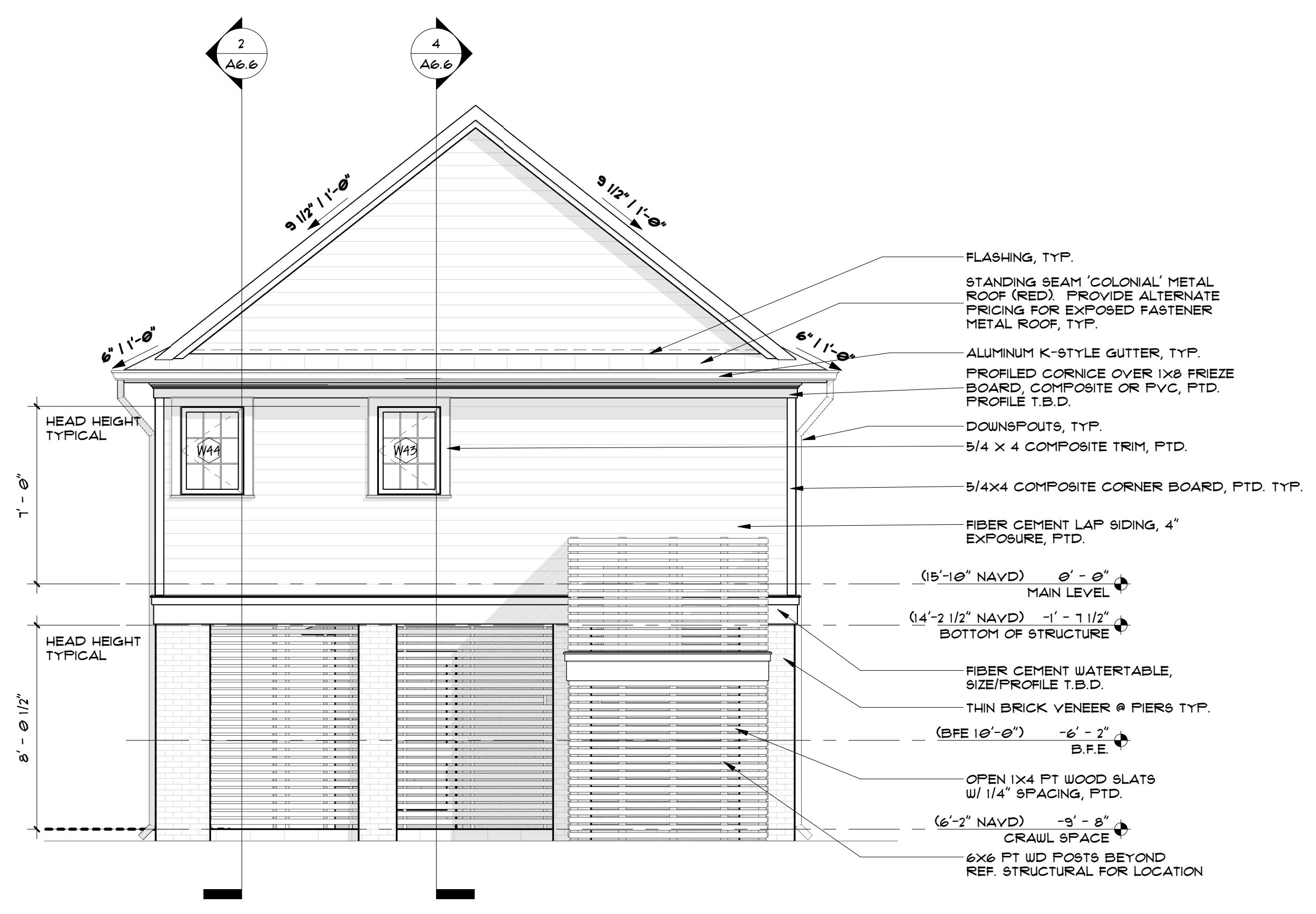
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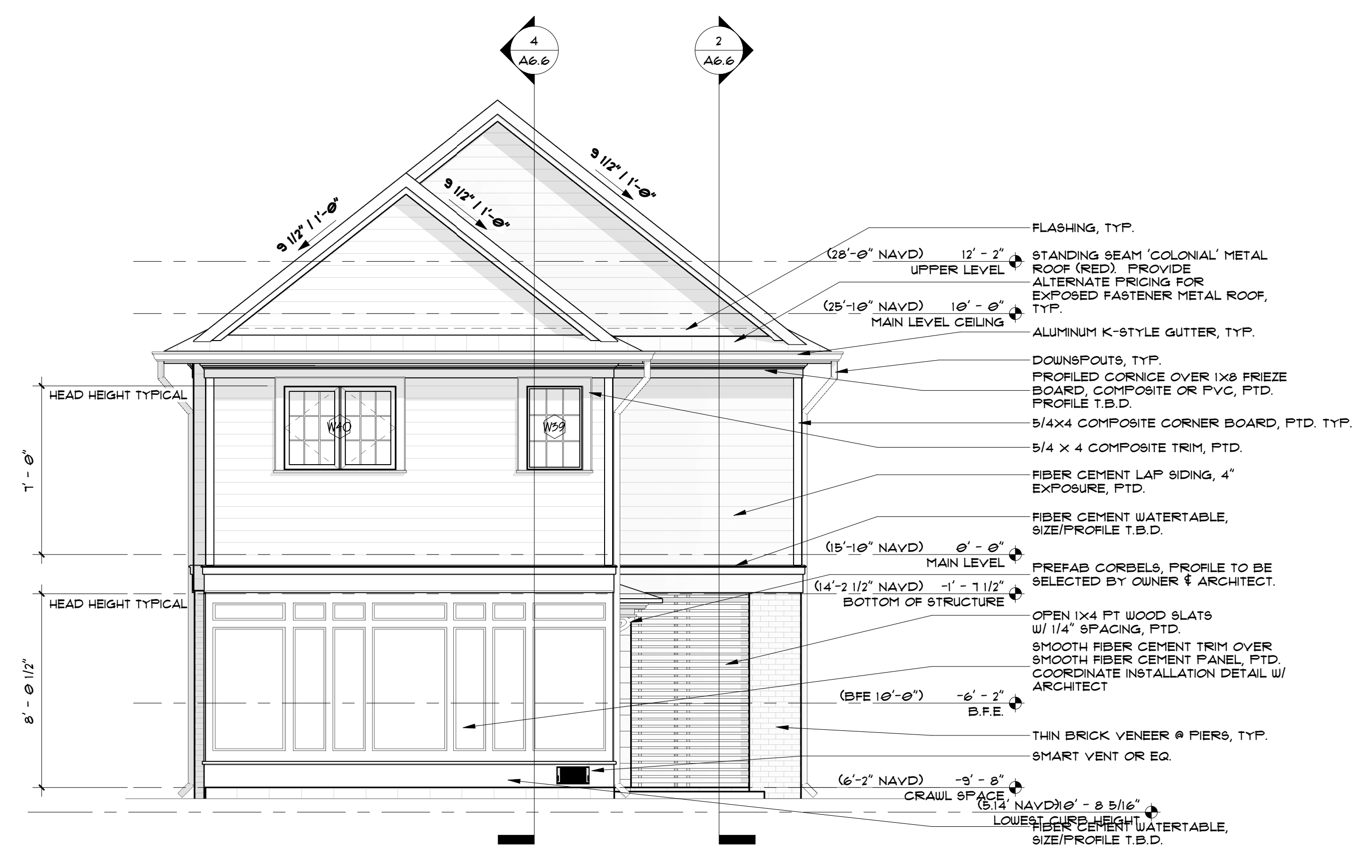


GARAGE - FRONT ELEVATION ①
 SCALE: 1/4" = 1'-0"

GARAGE - REAR ELEVATION ②
 SCALE: 1/4" = 1'-0"



GARAGE - RIGHT ELEVATION ③
 SCALE: 1/4" = 1'-0"



GARAGE - LEFT ELEVATION ④
 SCALE: 1/4" = 1'-0"

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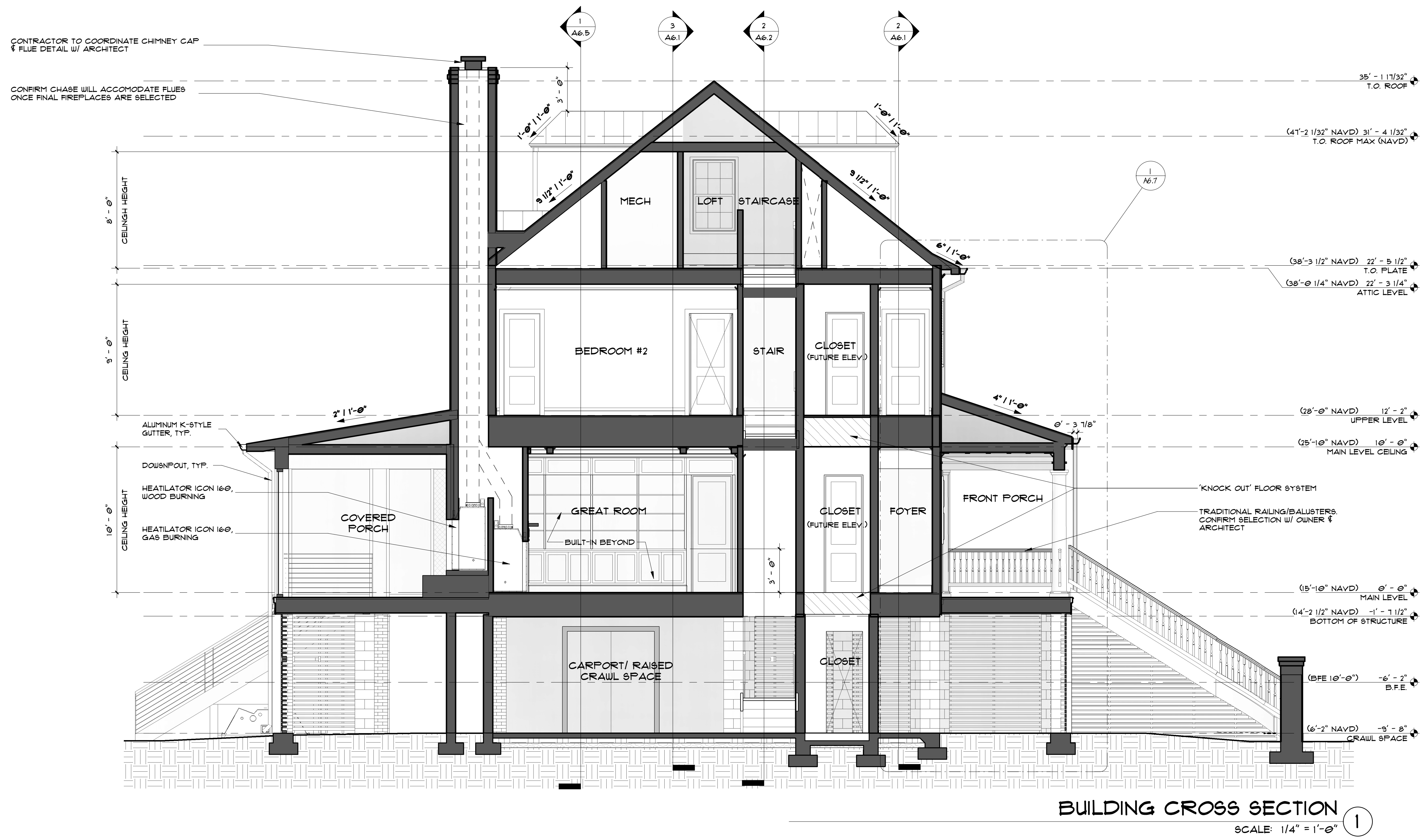
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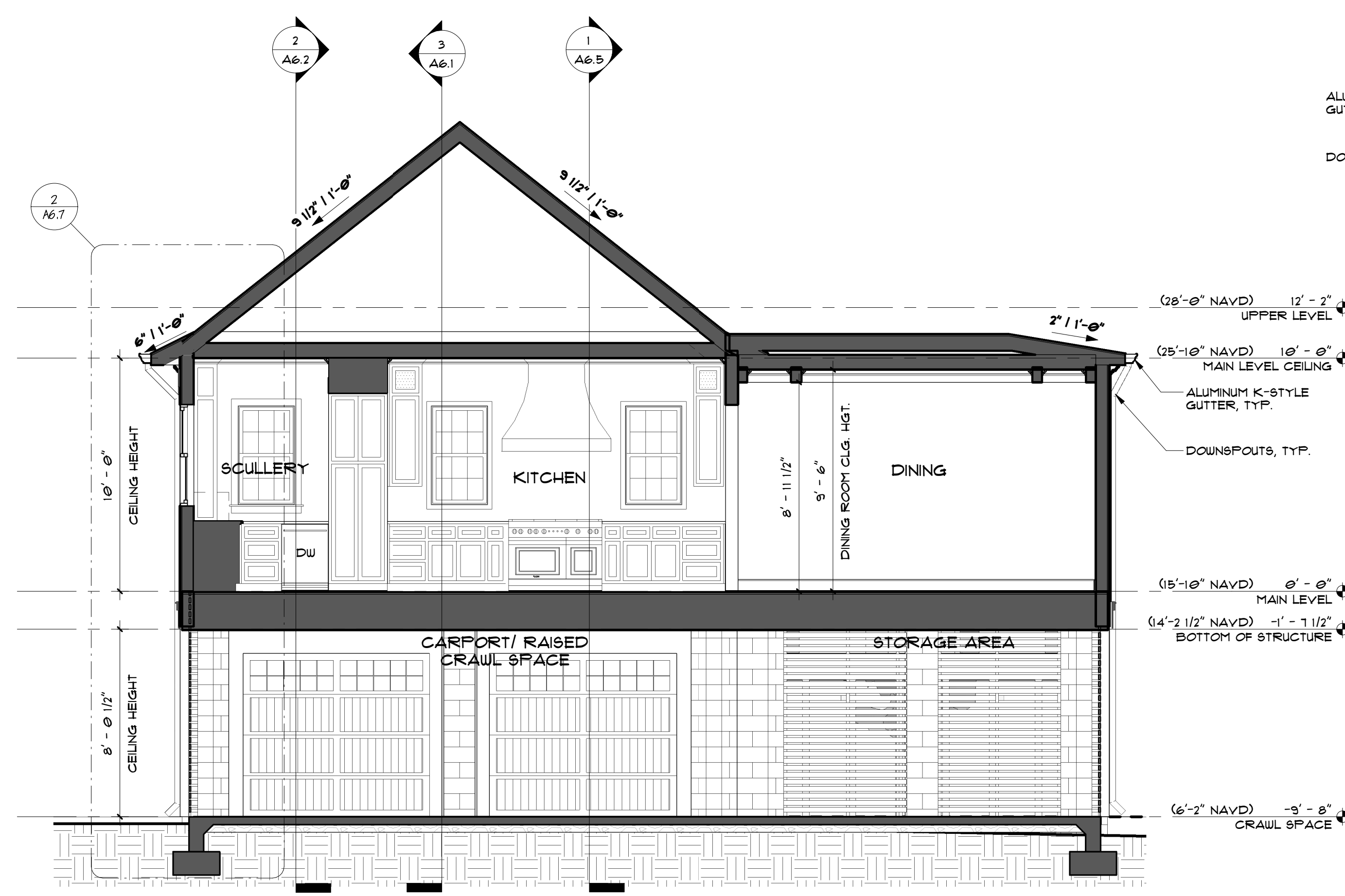
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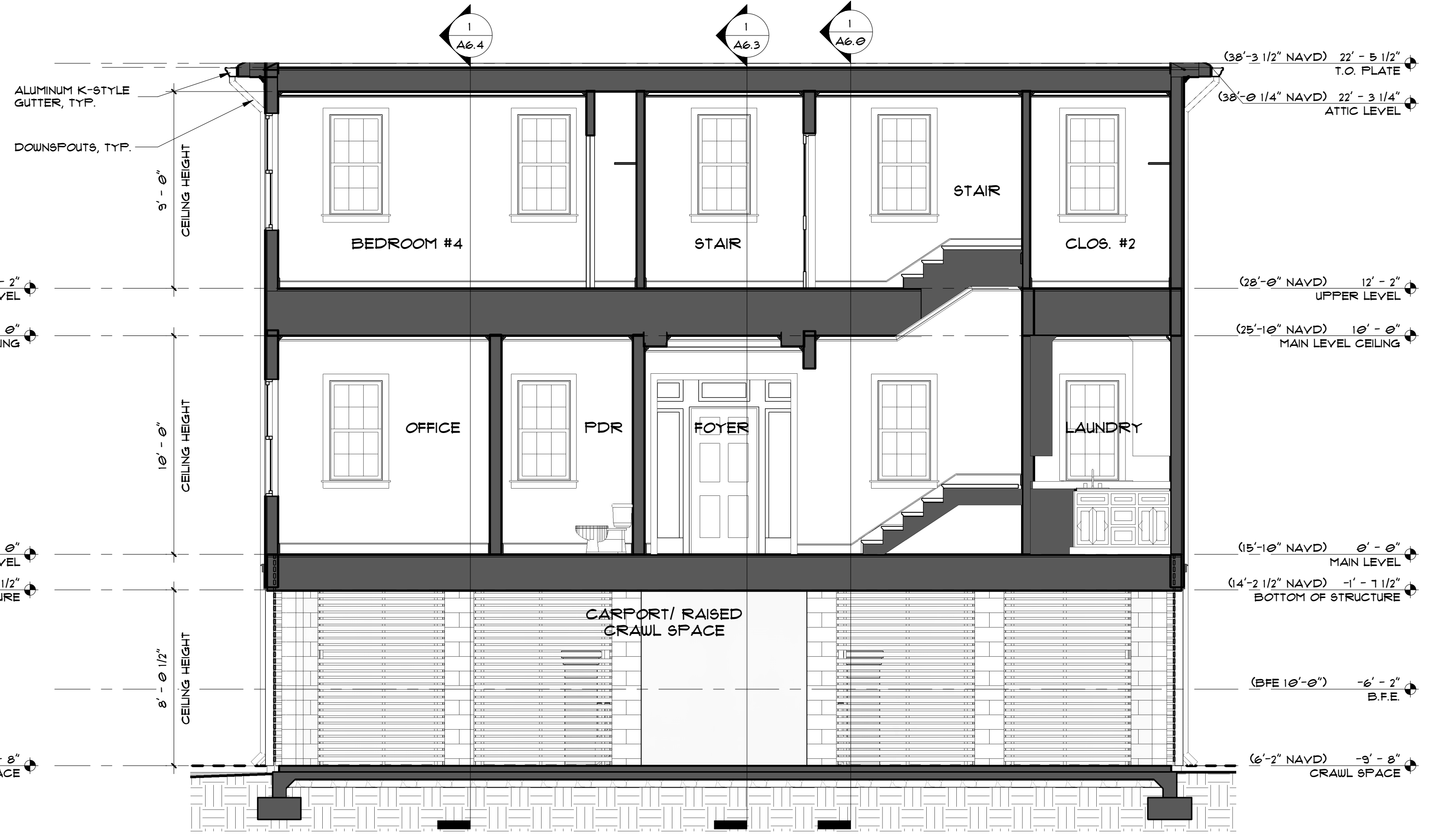
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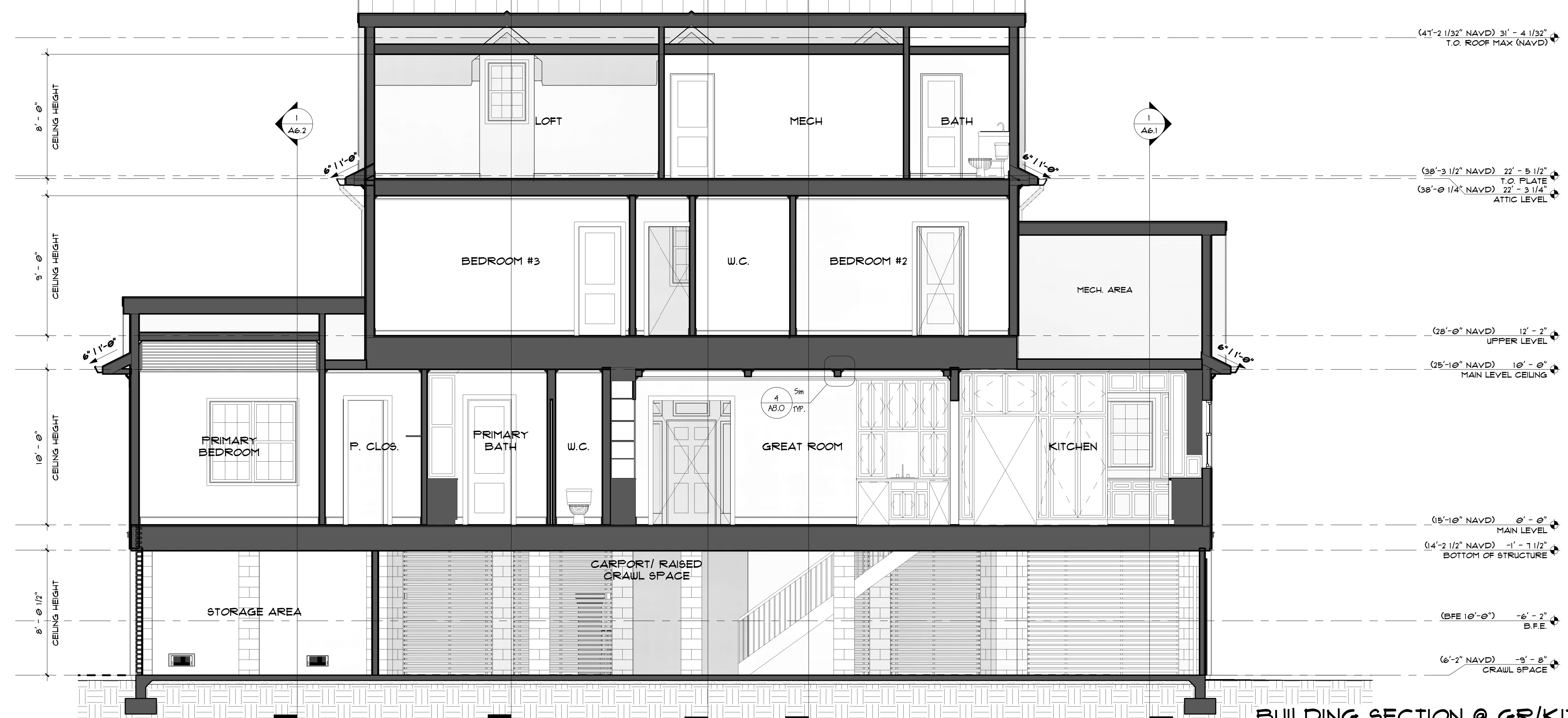




BUILDING SECTION @ KITCHEN & DINING
SCALE: 1/4" = 1'-0" ①



BUILDING SECTION @ FRONT OF HOUSE
SCALE: 1/4" = 1'-0" ②



BUILDING SECTION @ GR/KITCHEN
SCALE: 1/4" = 1'-0" ③

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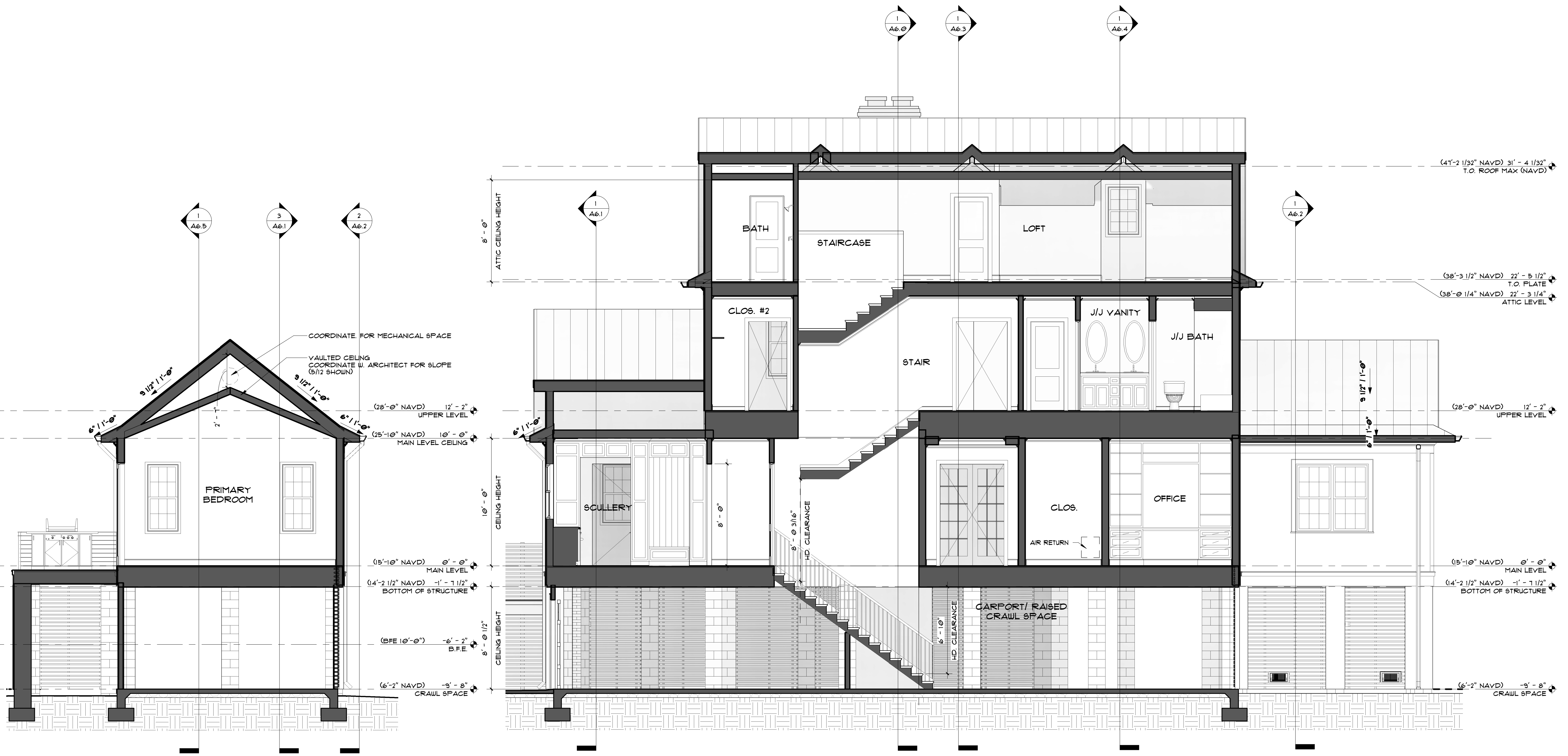


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A6.2

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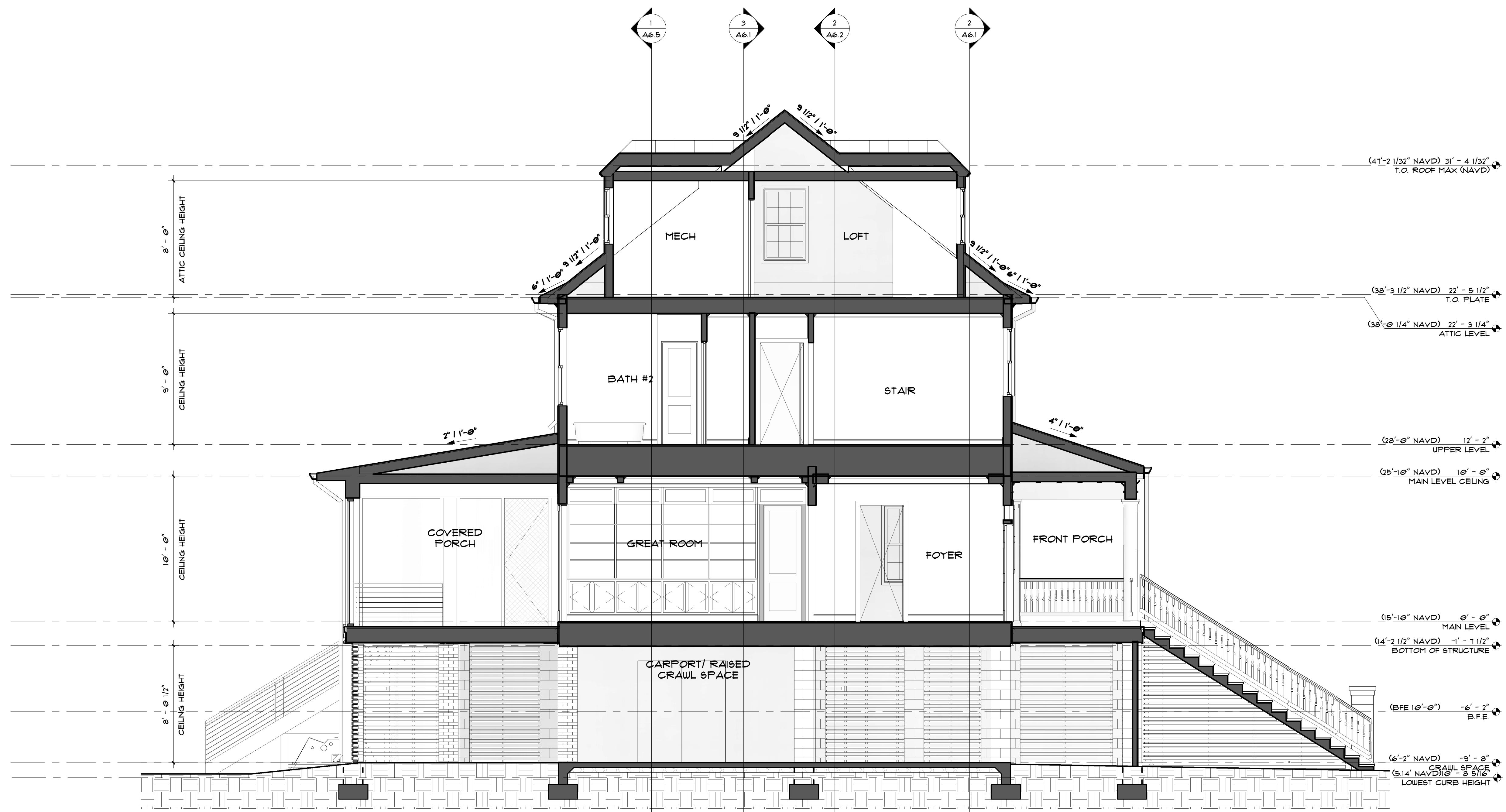
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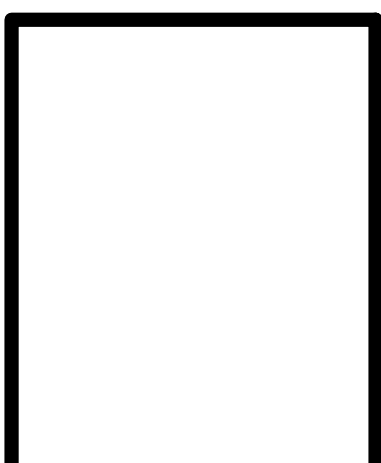


BUILDING SECTION @ FOYER/ GREAT ROOM
 SCALE: 1/4" = 1'-0" ①

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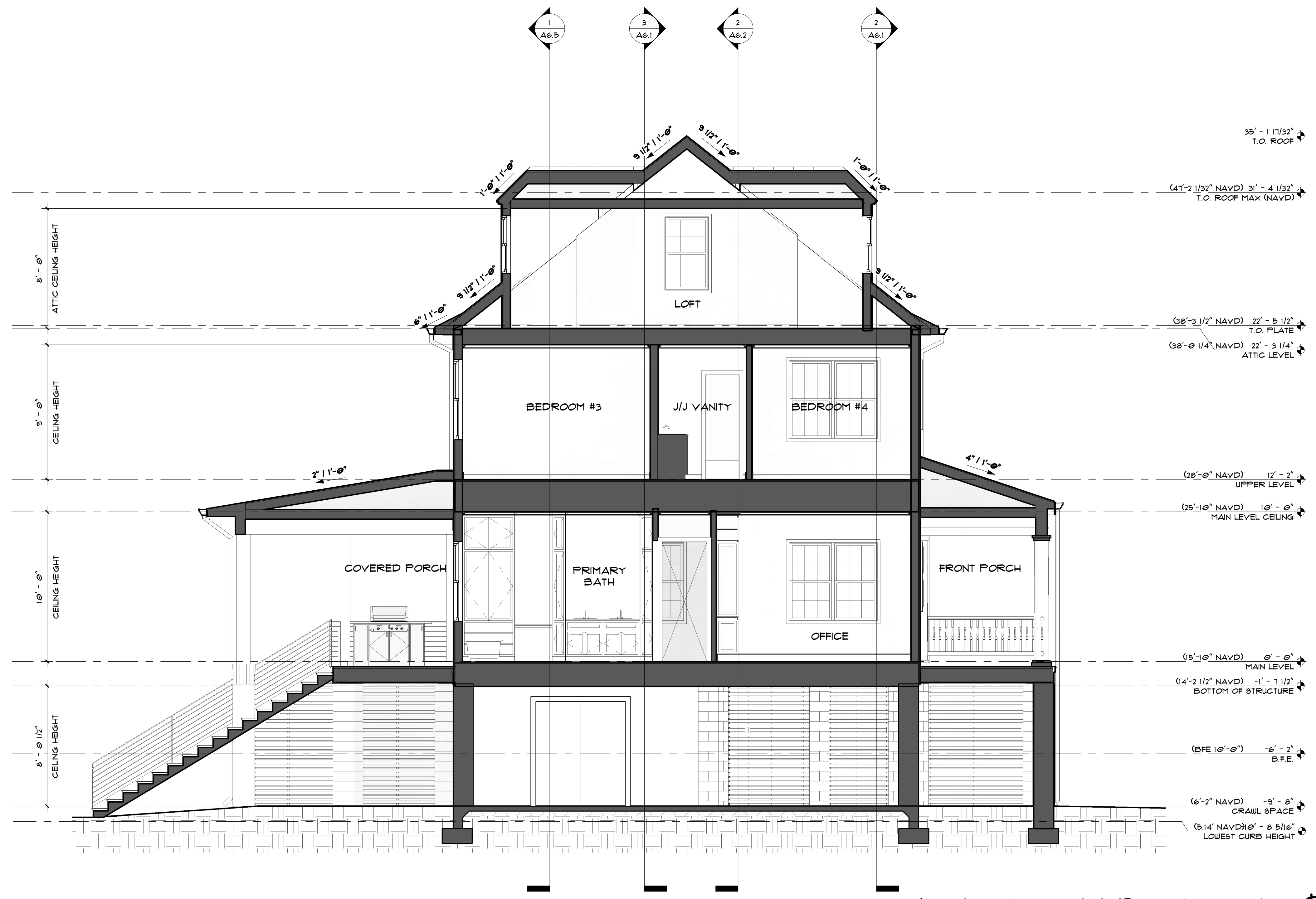


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 PERMIT SET

DRAWN BY: ZB
 CHECKED BY: KPS

PHASE CD
 PR NO 21357

A6.4



BUILDING SECTION @ PRIMARY BATH & OFFICE
 SCALE: 1/4" = 1'-0" ①

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CONSULTANT:

Ravenel Welch Residence
 100 FARMFIELD AVENUE

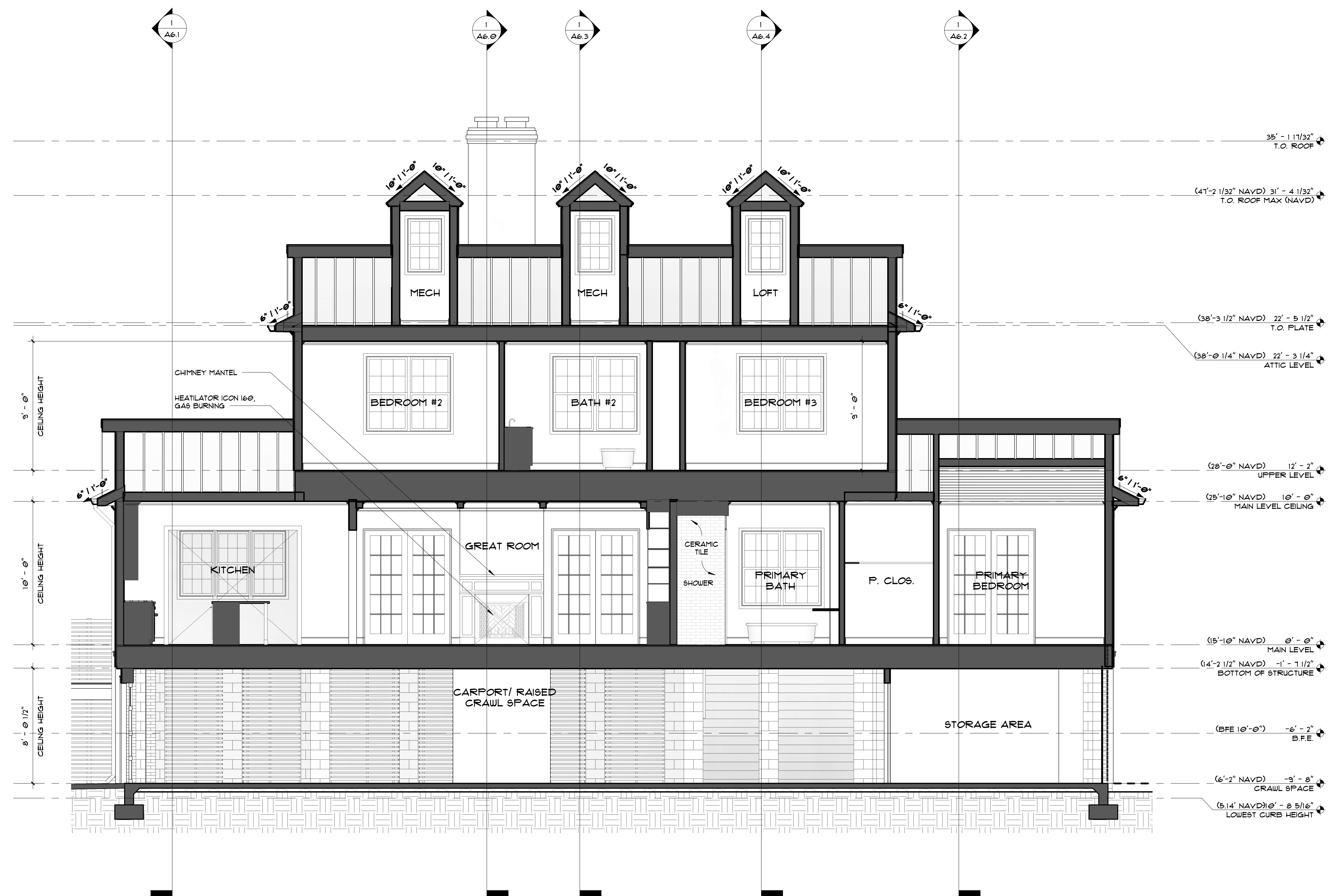
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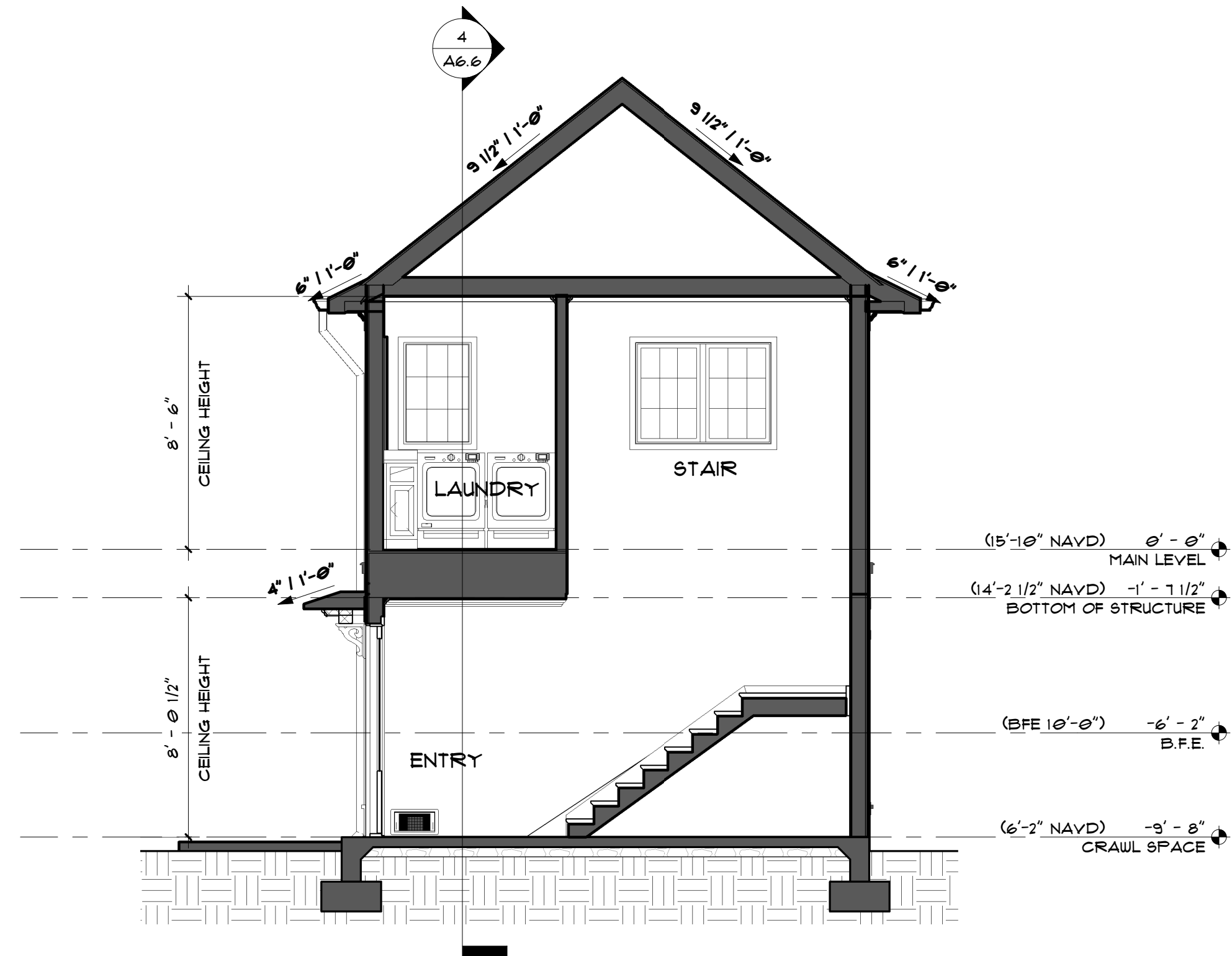
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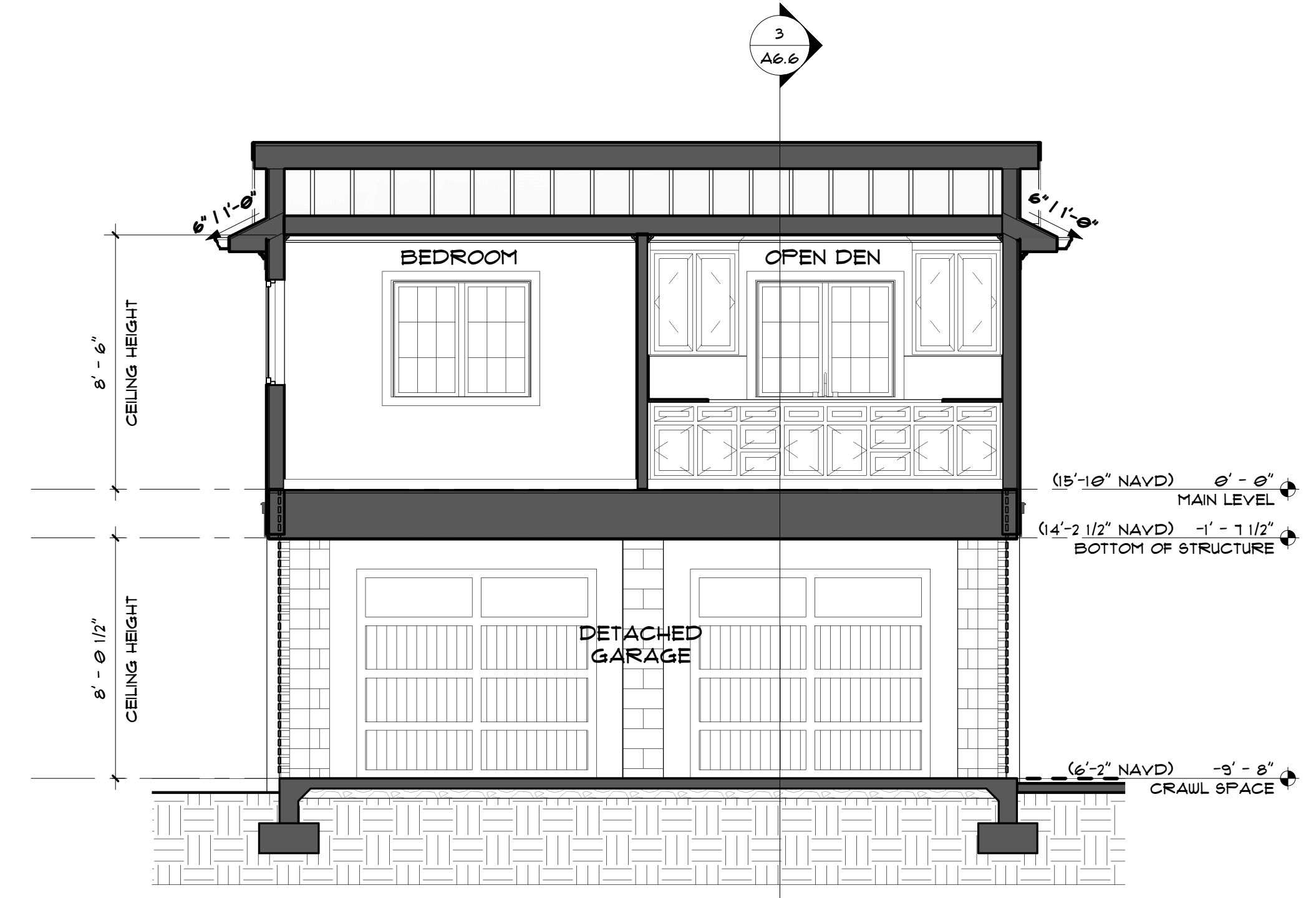
A6.5



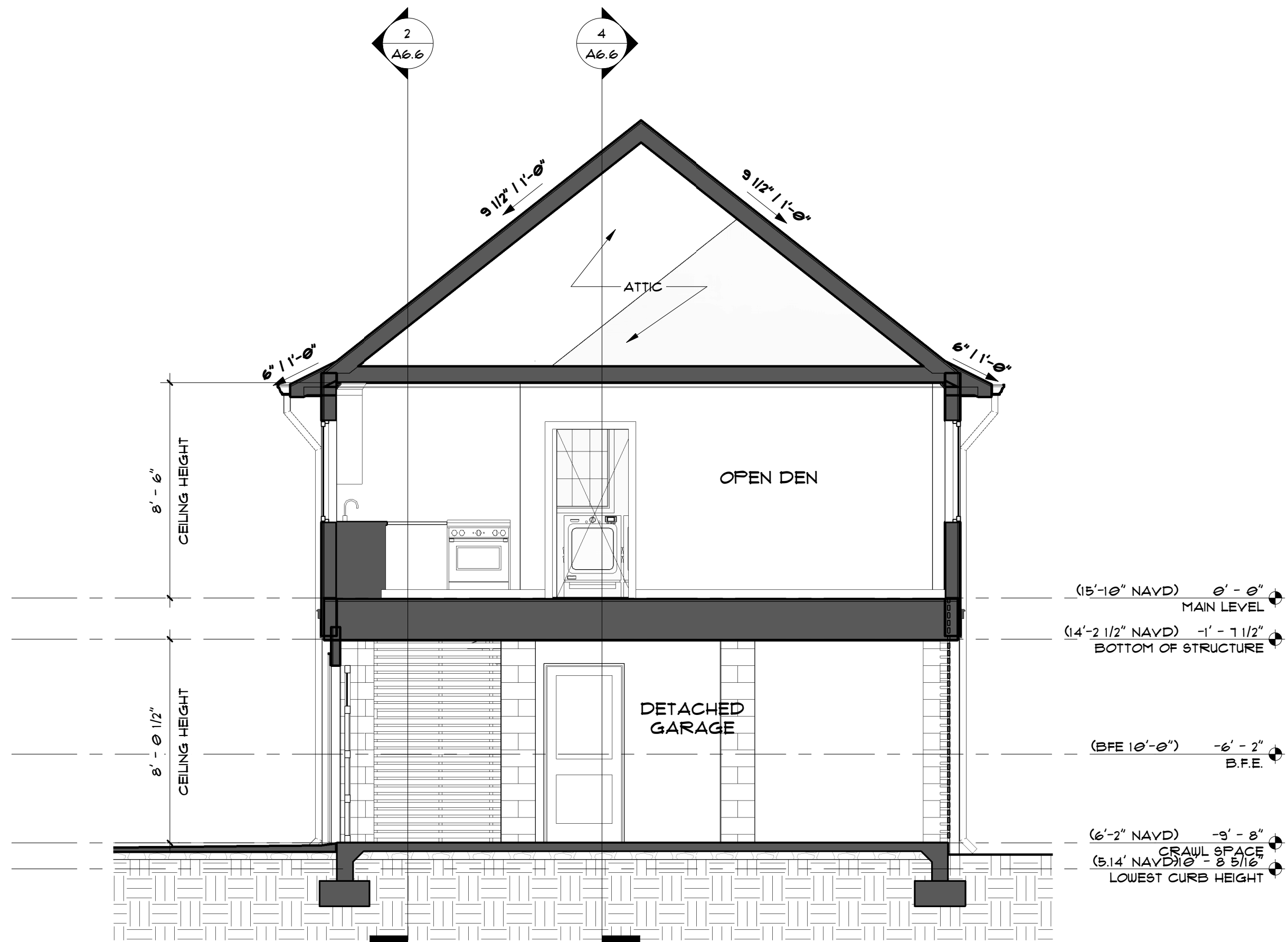
BUILDING SECTION @ GREAT ROOM 1
 SCALE: 1/4" = 1'-0"



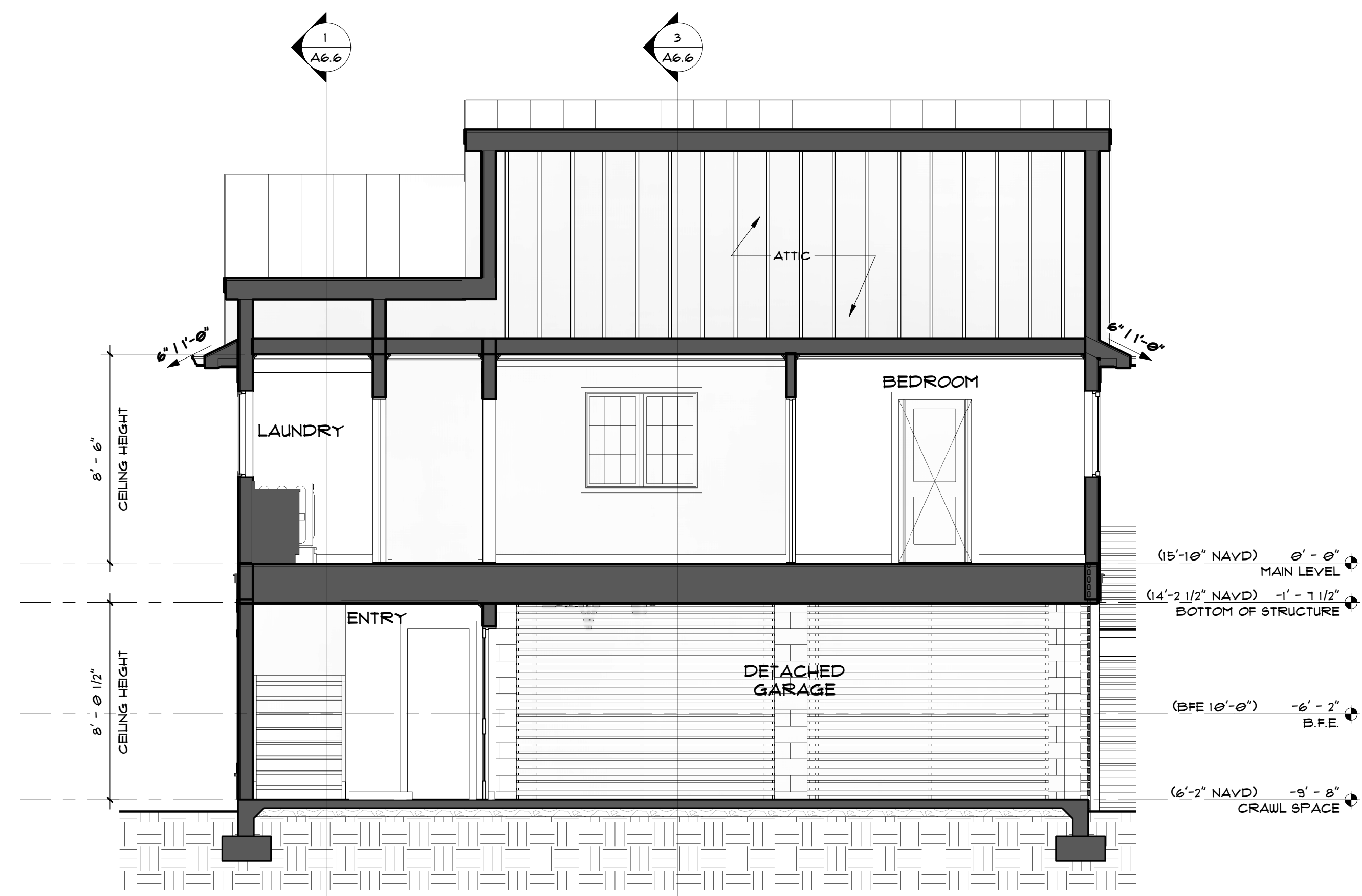
GARAGE BUILDING SECTION @ ENTRY STAIR
SCALE: 1/4" = 1'-0" ①



GARAGE BUILDING SECTION @ KITCHEN
SCALE: 1/4" = 1'-0" ②



GARAGE BUILDING SECTION @ LIVING/KITCHEN
SCALE: 1/4" = 1'-0" ③



GARAGE BUILDING SECTION @ ENTRY
SCALE: 1/4" = 1'-0" ④

CONSULTANT:

Ravenel Welch Residence
100 FARMFIELD AVENUE

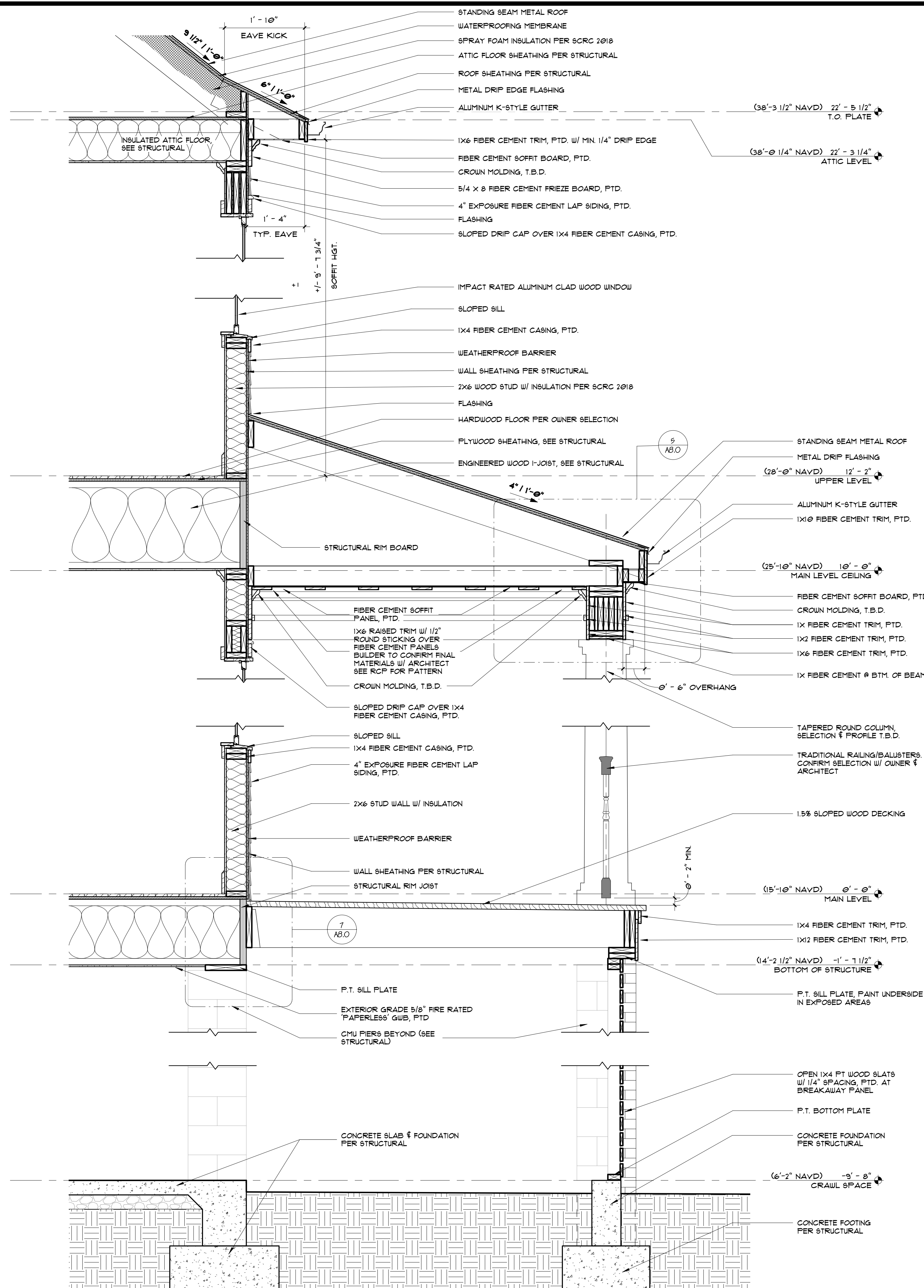
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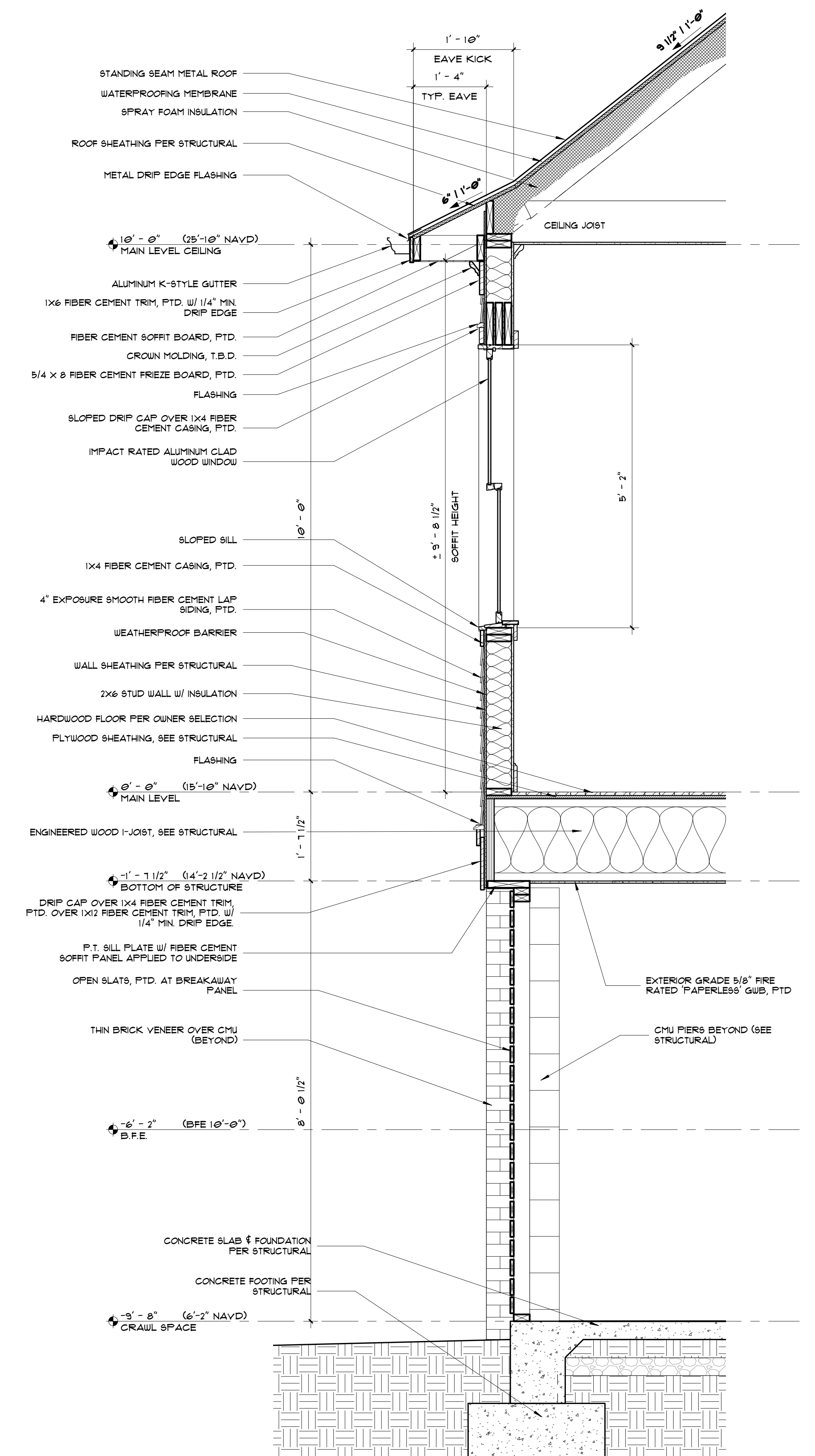
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A6.6

10/3/2022 1:02:55 PM



WALL SECTION @ FRONT ENTRY PORCH ①
SCALE: 3/4" = 1'-0"



TYP. WALL SECTION @ SINGLE STORY ②
SCALE: 3/4" = 1'-0"

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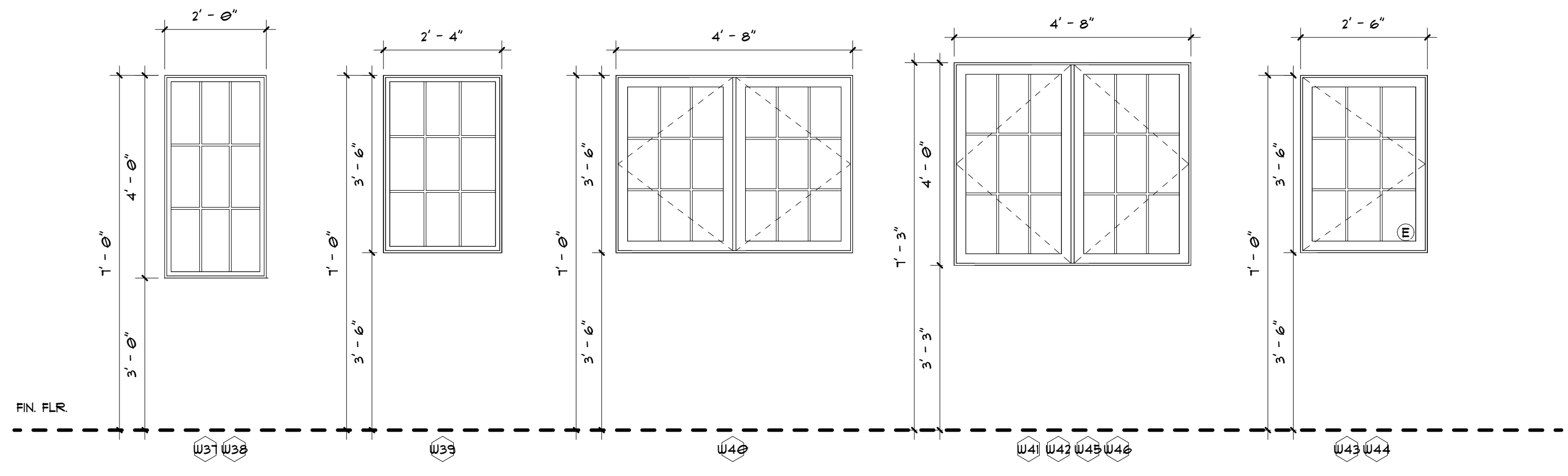
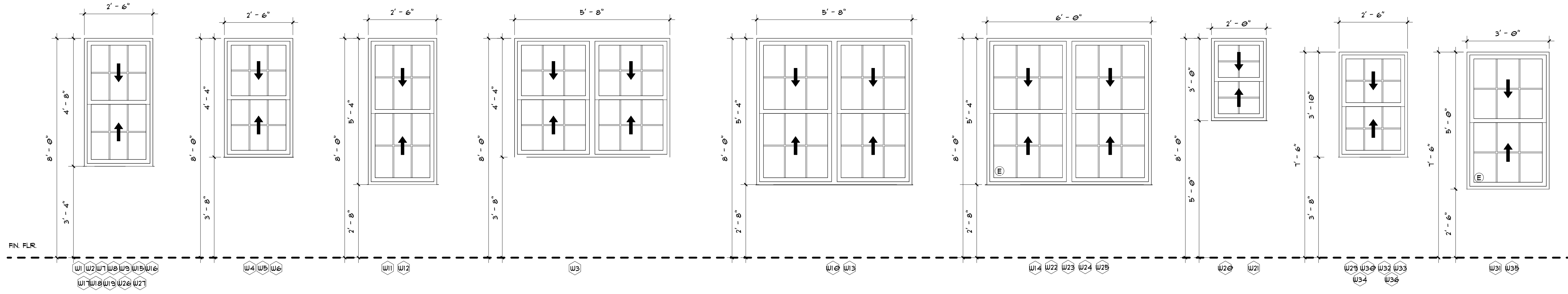
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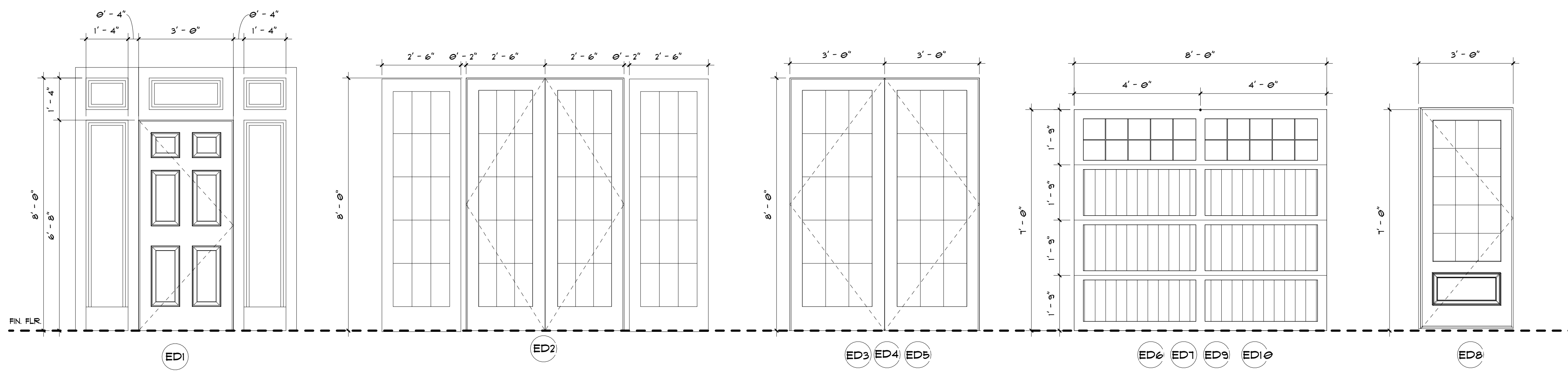
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A6.7



WINDOW TYPES
SCALE: 1/2" = 1'-0"



EXTERIOR DOOR TYPES
SCALE: 1/2" = 1'-0"

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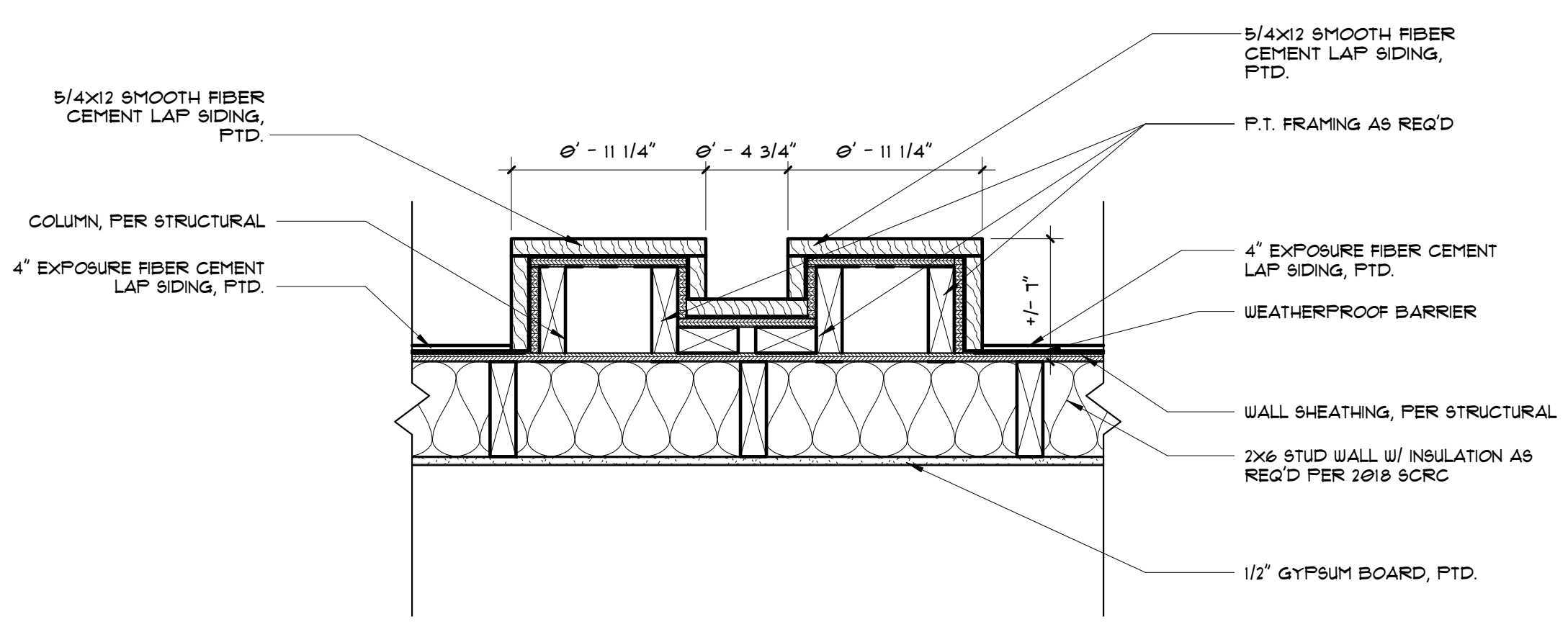


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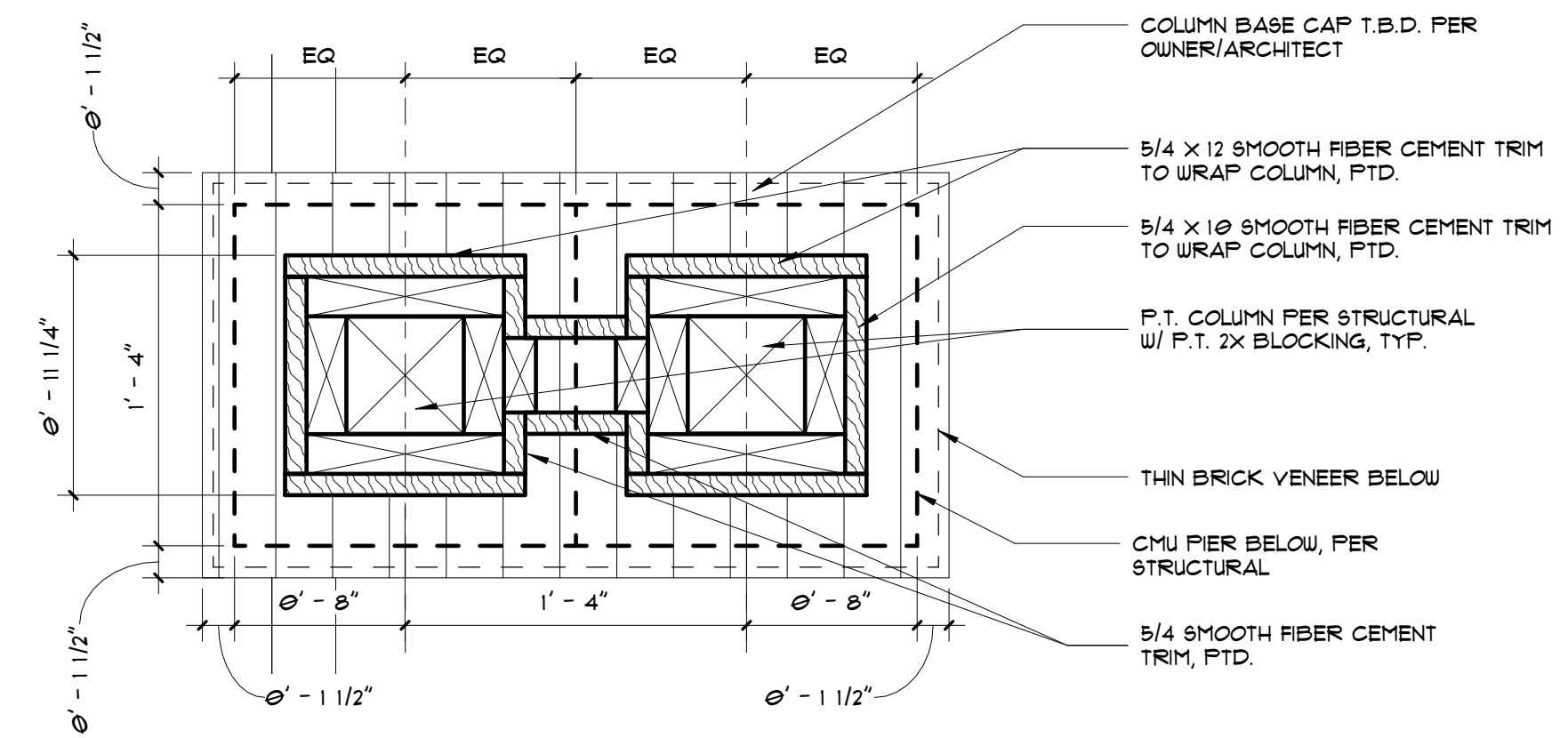
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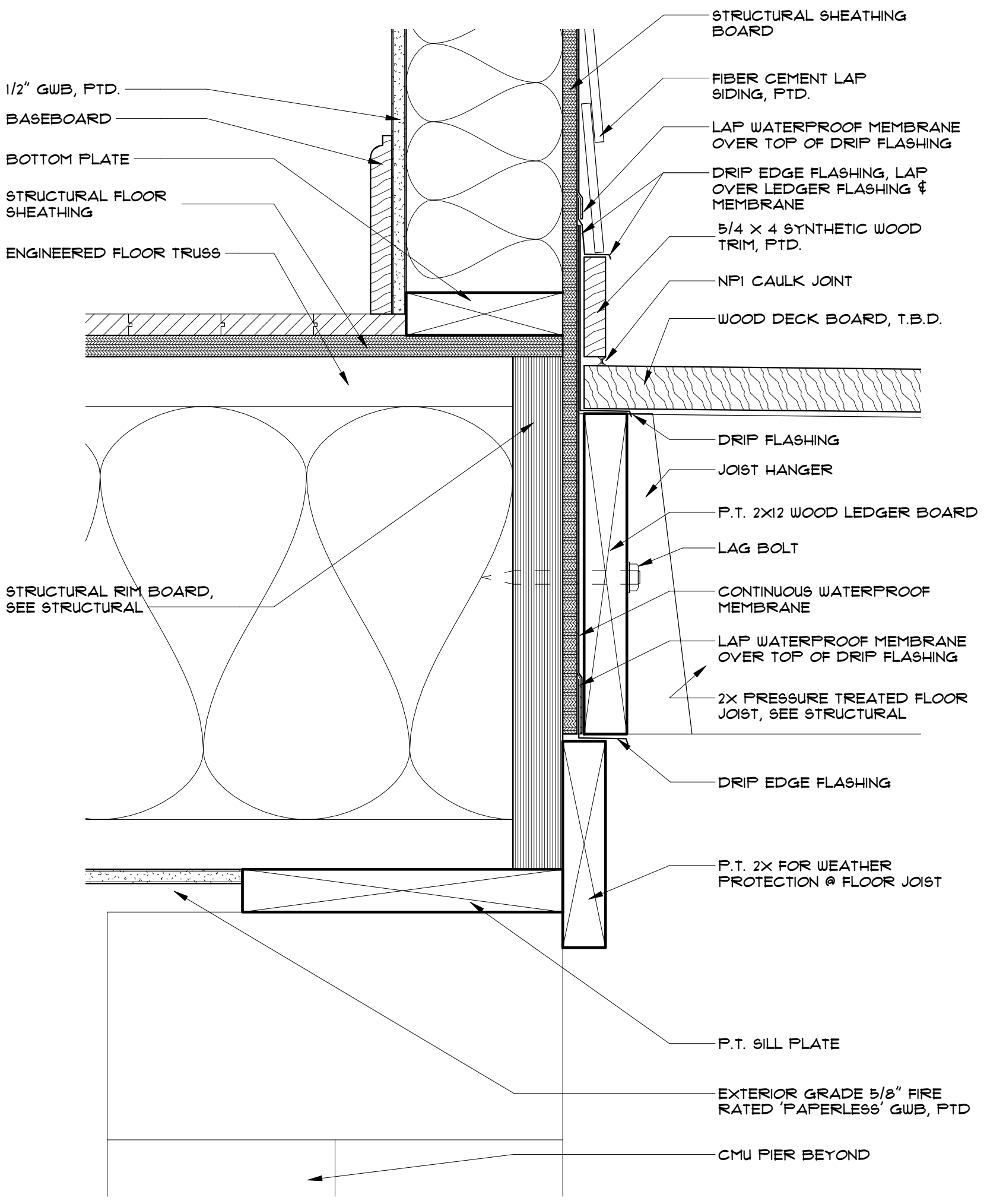
A7.0



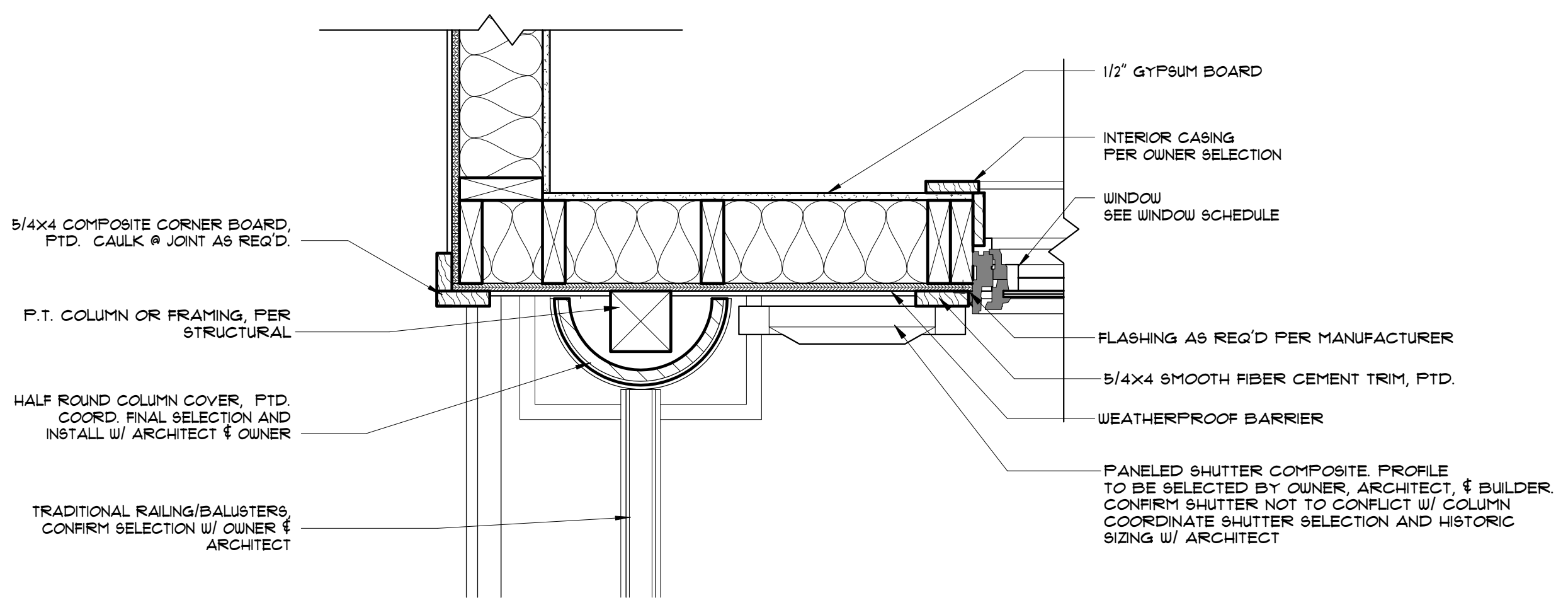
REAR PORCH COLUMN PLAN DETAIL 1
SCALE: 1 1/2" = 1'-0"



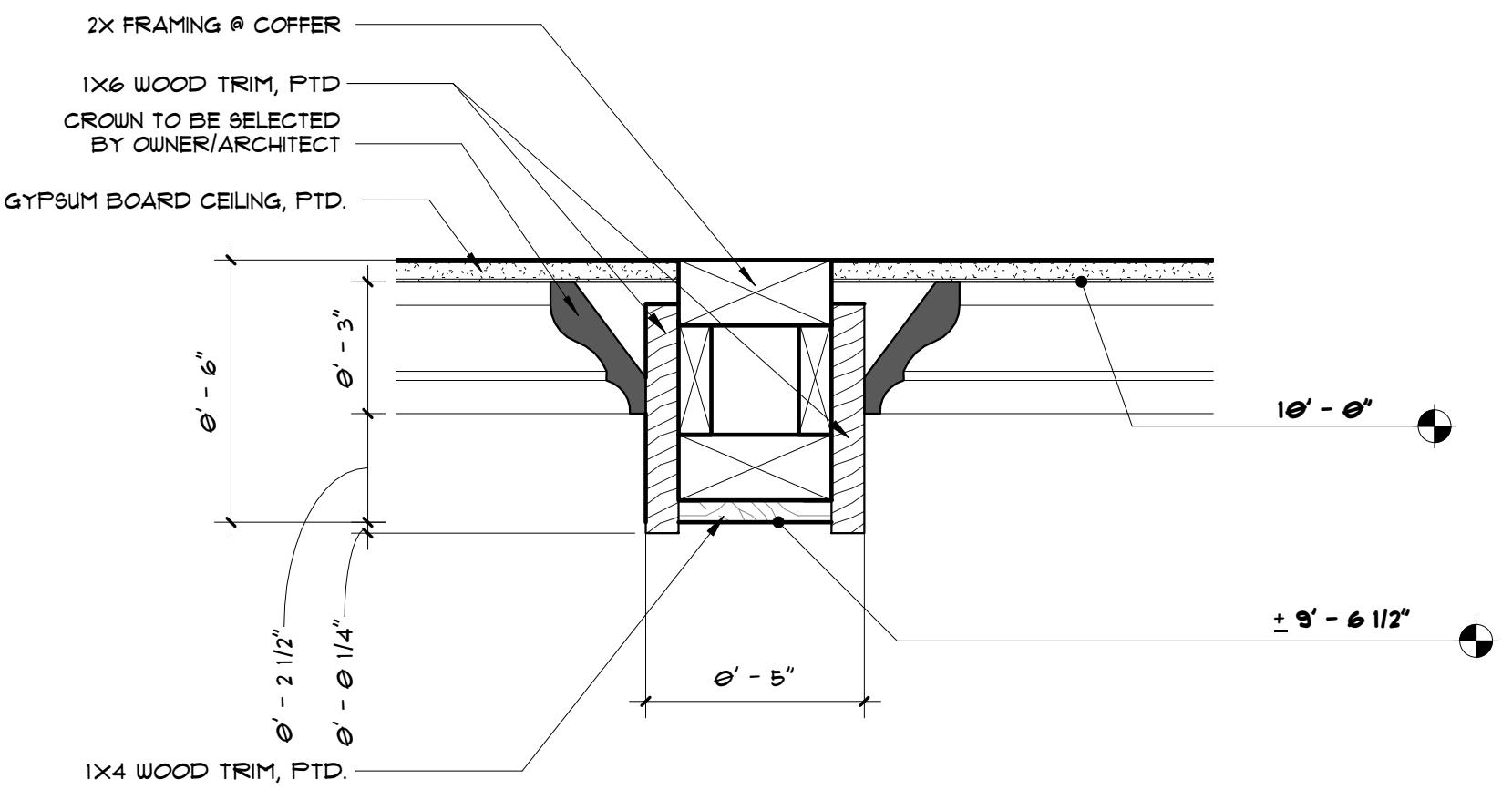
REAR STAIRS COLUMN PLAN DETAIL 2
SCALE: 1 1/2" = 1'-0"



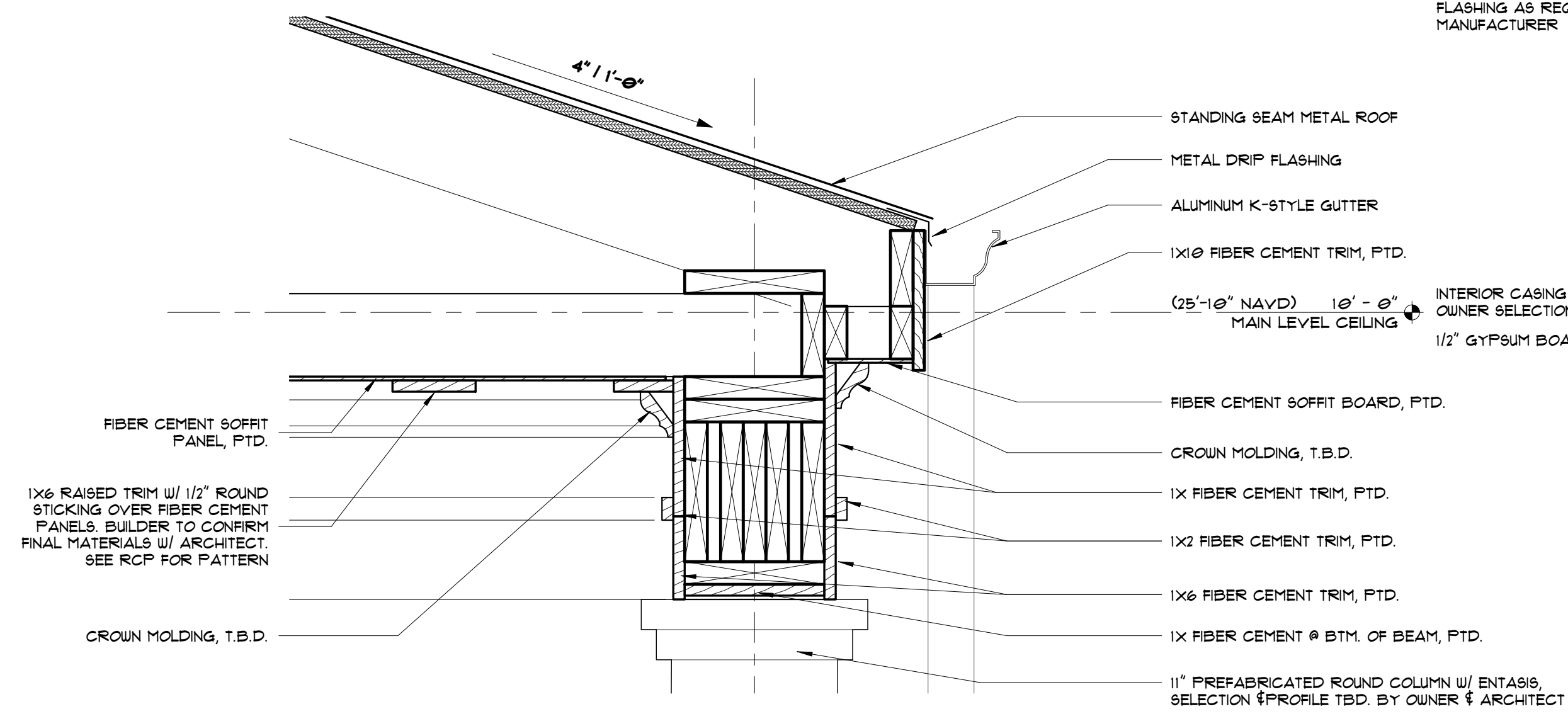
DECK LEDGER DETAIL 7
SCALE: 3" = 1'-0"



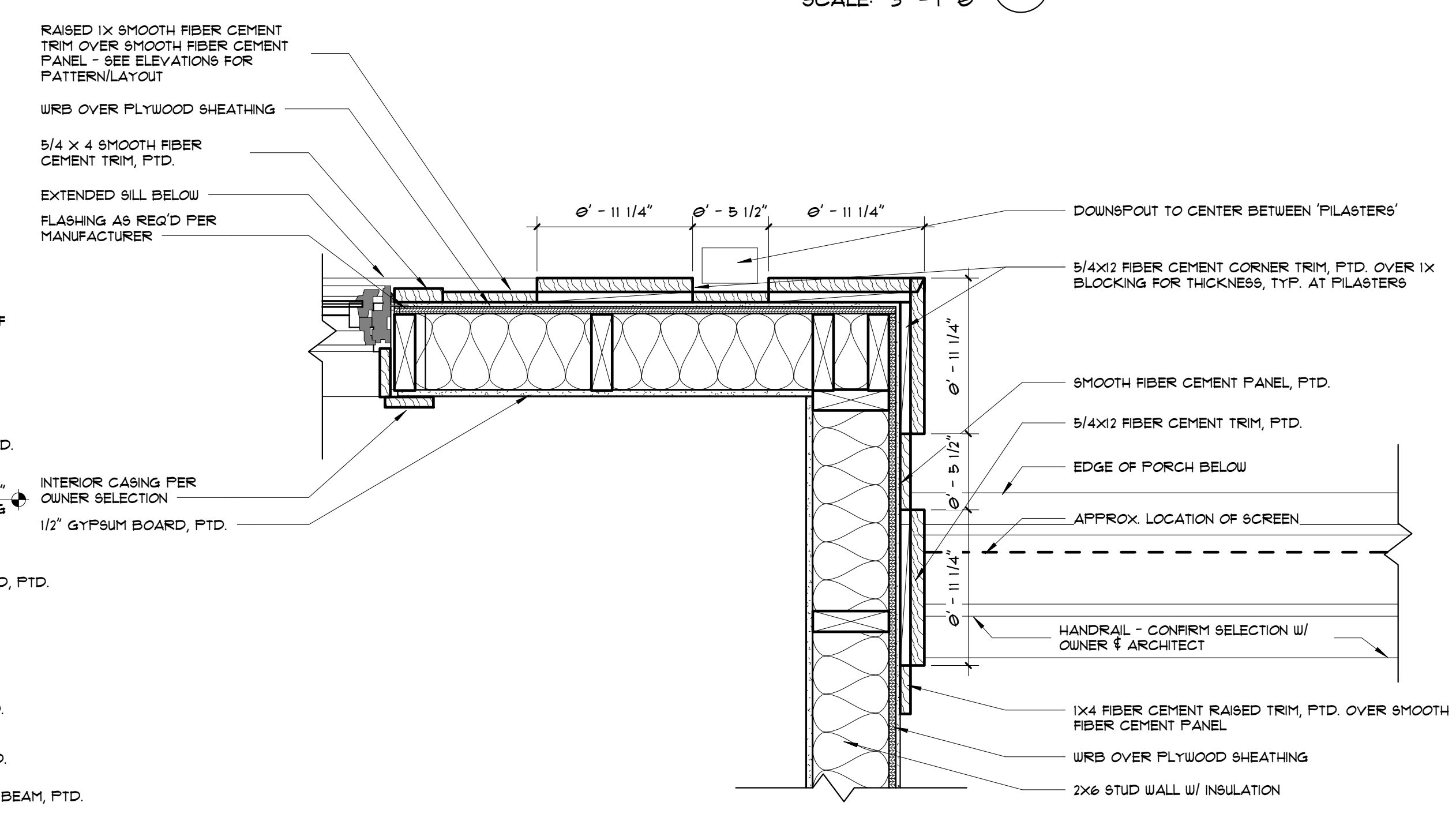
LAUNDRY ROOM WINDOW PLAN DETAIL 3
SCALE: 1 1/2" = 1'-0"



CEILING COFFER DETAIL 4
SCALE: 3" = 1'-0"



COLUMN HEAD AND CEILING DETAIL 5
SCALE: 1 1/2" = 1'-0"



WALL PANELING CORNER PLAN DETAIL 6
SCALE: 1 1/2" = 1'-0"