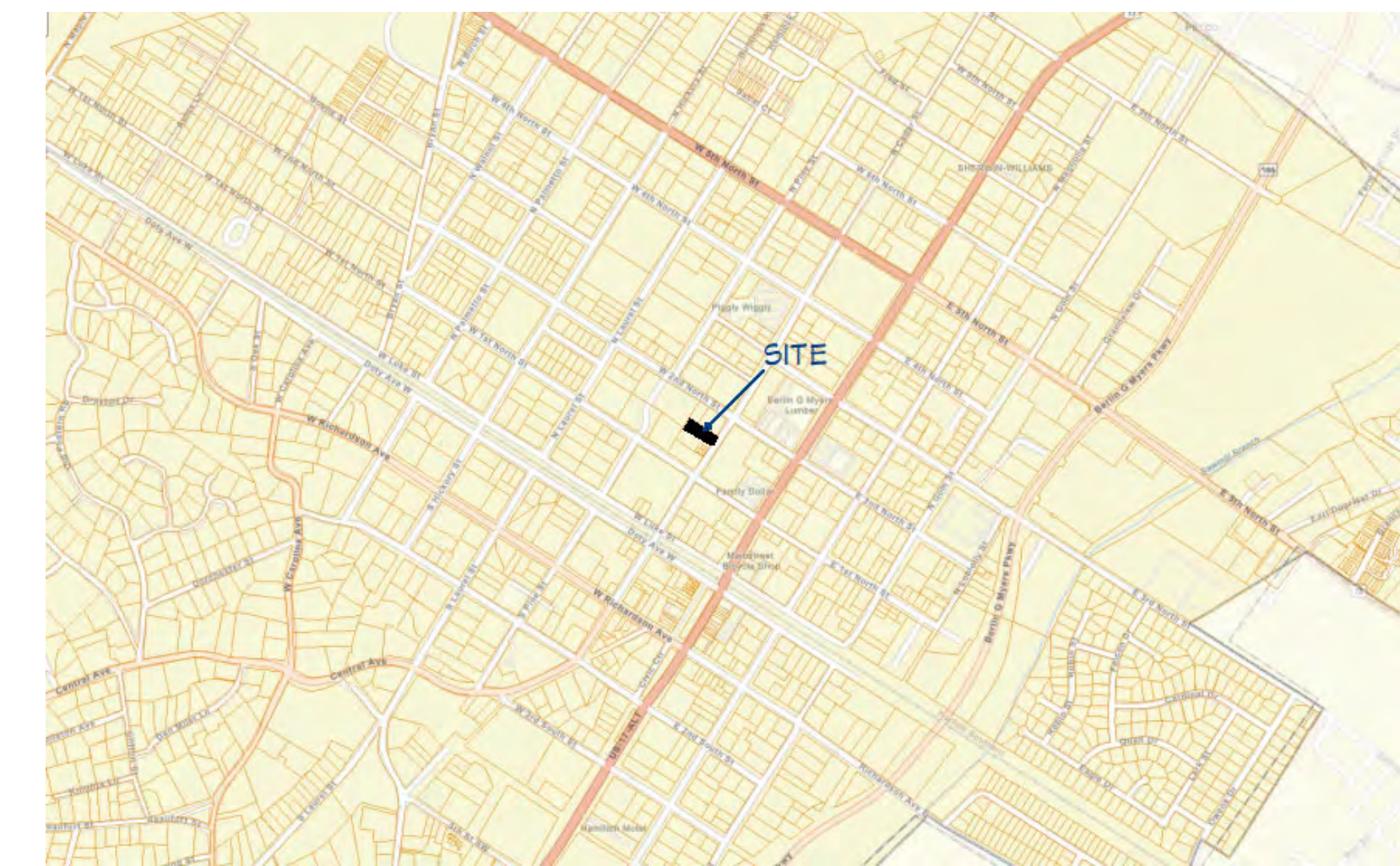




208 North Cedar Executive Offices Summerville, SC 29483



VICINITY MAP
FOR ILLUSTRATION ONLY
No Scale

RENDERINGS
FOR ILLUSTRATION ONLY
No Scale



Project Planning Statistics

TMS: 137-03-09-013.000
Developer: Pendium Group LLC
Zoning: D-MX

Property Total Area:	27,490 Sq. Ft. (.468 AC.)
Asphalt Parking and Curb Areas:	8,175 Sq. Ft.
Gravel Parking Areas:	2,160 Sq. Ft.
Office Footprint Area:	3,971 Sq. Ft.
Covered Porches:	170 Sq. Ft.
Sidewalks and Stoops Areas:	730 Sq. Ft.
Green Space & Landscaping Area:	5,176 Sq. Ft. (25%)
Gross Floor Area:	7,600 Sq. Ft.
Usable Floor Area (USF):	7,489 Sq. Ft.
<small>(USF excludes balconies, stairways, elevators, corridors and public areas)</small>	
Parking Spaces (Total):	28
Accessible Parking Spaces:	2 /with 1 Van Accessible

Project Contacts

Owner:
Pendium Group, LLC.
Tom Wingard (Project Coordination Main Contact):
Ph: 843 458-4601 tom@pendium.com | 4265 Duck Club Rd Ravenel SC 29470

Architectural Firm & Construction Management:
Pendium Group, LLC Architecture Firm #101636
Tom Wingard (Main Contact) GC #G121762, CCM #1046
Ph: 843 458-4601 tom@pendium.com | 4265 Duck Club Rd Ravenel SC 29470
Ahmad M Al-Shemmeri, NCARB (Architect) SC-AR #10394
Ph: 843 405-7055 ahmad@pendium.com | 4265 Duck Club Rd Ravenel SC 29470

Civil, Structural Engineering & Landscape Design:
Eugene H Brislin Jr., PE
Ph: 843 821-1678 gene_pe@bellsouth.net
606 Old Trolley Rd Ste 202 Summerville SC 29485

MEP Engineering:
Chris Constantine, PE, LEED AP
Ph: 843-626-7878 cconstantine@constantineengineering.com
1350 Ashley River Rd, Suite B Charleston, SC 29407

Sources:
Palmetto Land Surveying, Inc
Jason Penington
Ph: 843-571-5191 plsoffice@palmettols.com
2065 Savannah Highway Ste 2 Charleston, S.C. 29407

INDEX TO DRAWINGS

TITLE SHEET	A1
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SECOND FLOOR PLAN	A3
FOUNDATION & ROOF PLAN	A4
EXTERIOR ELEVATIONS	A5-A6
SECTIONS/DETAILS	A7
SECTIONS/DETAILS/STAIRS	A8
LIFE SAFETY & ADA SECTIONS	A9
SCHEDULES	A10
SIGNAGE	A11

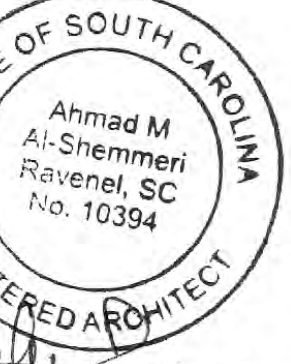
Drawings below completed by other entities and were not under the supervision of Pendium Group or the design professional in responsible charge:

ELEVATOR DETAILS	A12
EXISTING SITE PLAN	X1.0
NEW SITE PLAN	C1.0
LANDSCAPING PLAN	C1.1
PHOTOMETRIC PLAN	C1.2
GRADING / UTILITY PLAN	C1.3
EROSION CONTROL PLAN	C1.4
CIVIL DETAILS	C2.0-C2.5
STRUCTURAL DRAWINGS	S0.1-S1.2
STRUCTURAL DETAILS	S2.0-S3.1
SPRINKLER PLAN	F1-F2
FIRE ALARM PLAN	F3-F4
PLUMBING PLAN	P1-P7
MECHANICAL PLAN	M1-M5
ELECTRICAL PLAN	E1-E6



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Executive Offices
208 North Cedar
Summerville, SC 29483

Revision Table	Revision No.	Description	Date

COVER
PAGE

DATE:
4/25/22

SHEET:

A1

GENERAL NOTES AND SPECIFICATIONS

DESIGN CRITERIA:
 2018 International Building Code with SC modifications
 2018 International Fire Code with SC modifications
 2018 International Plumbing Code
 2018 International Mechanical Code with SC modifications
 2018 International Fuel Gas Code with SC modifications
 2009 South Carolina Energy Conservation Code
 2017 National Electrical Code (NFPA 70) with SC modifications
 2017 A117.1 ANSI

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH ALL STATE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

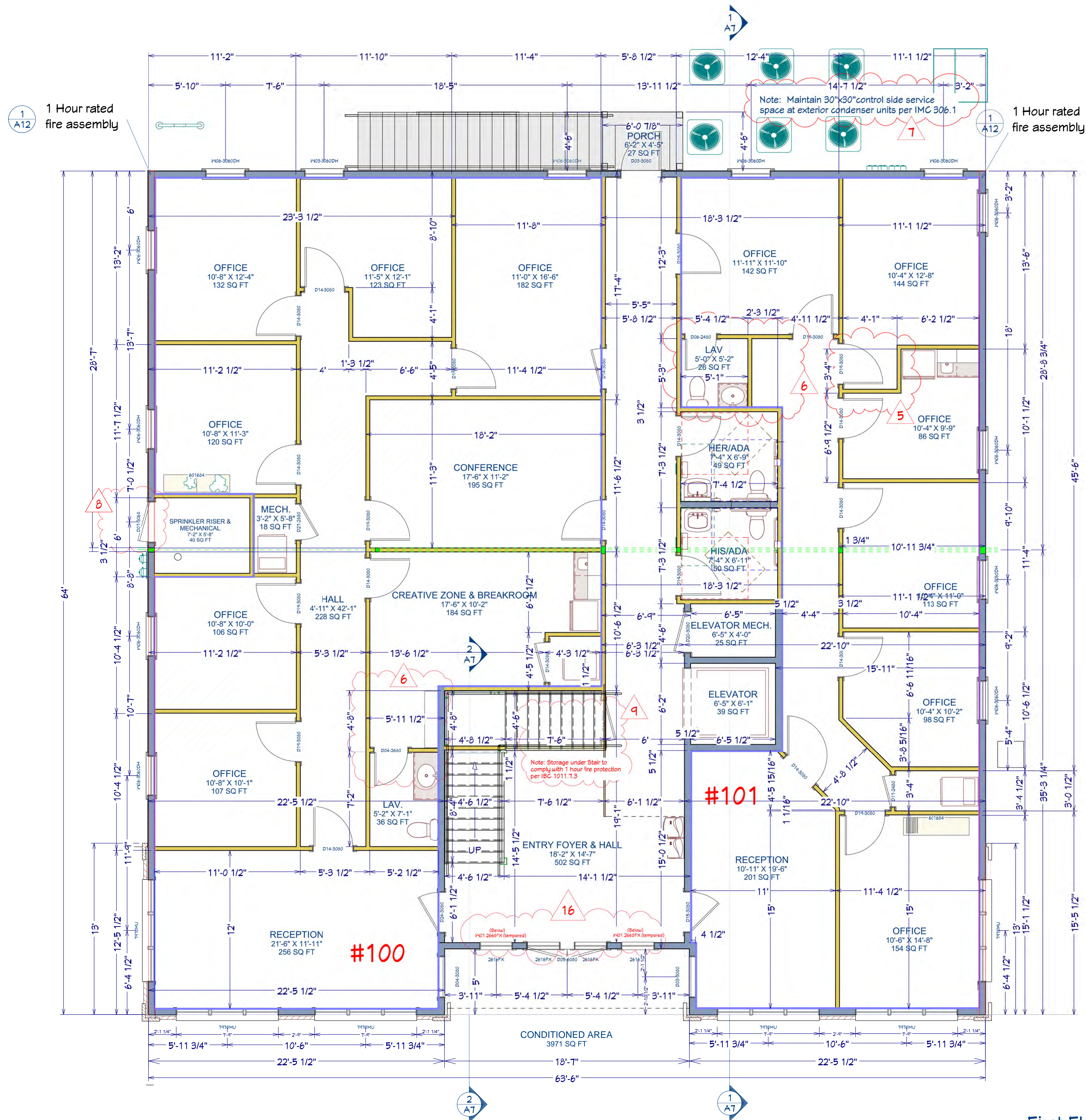
THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

FRAMING NOTES:

ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FRAMING, ROUGH OPENING.

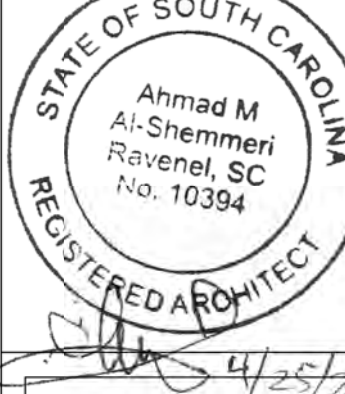
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.



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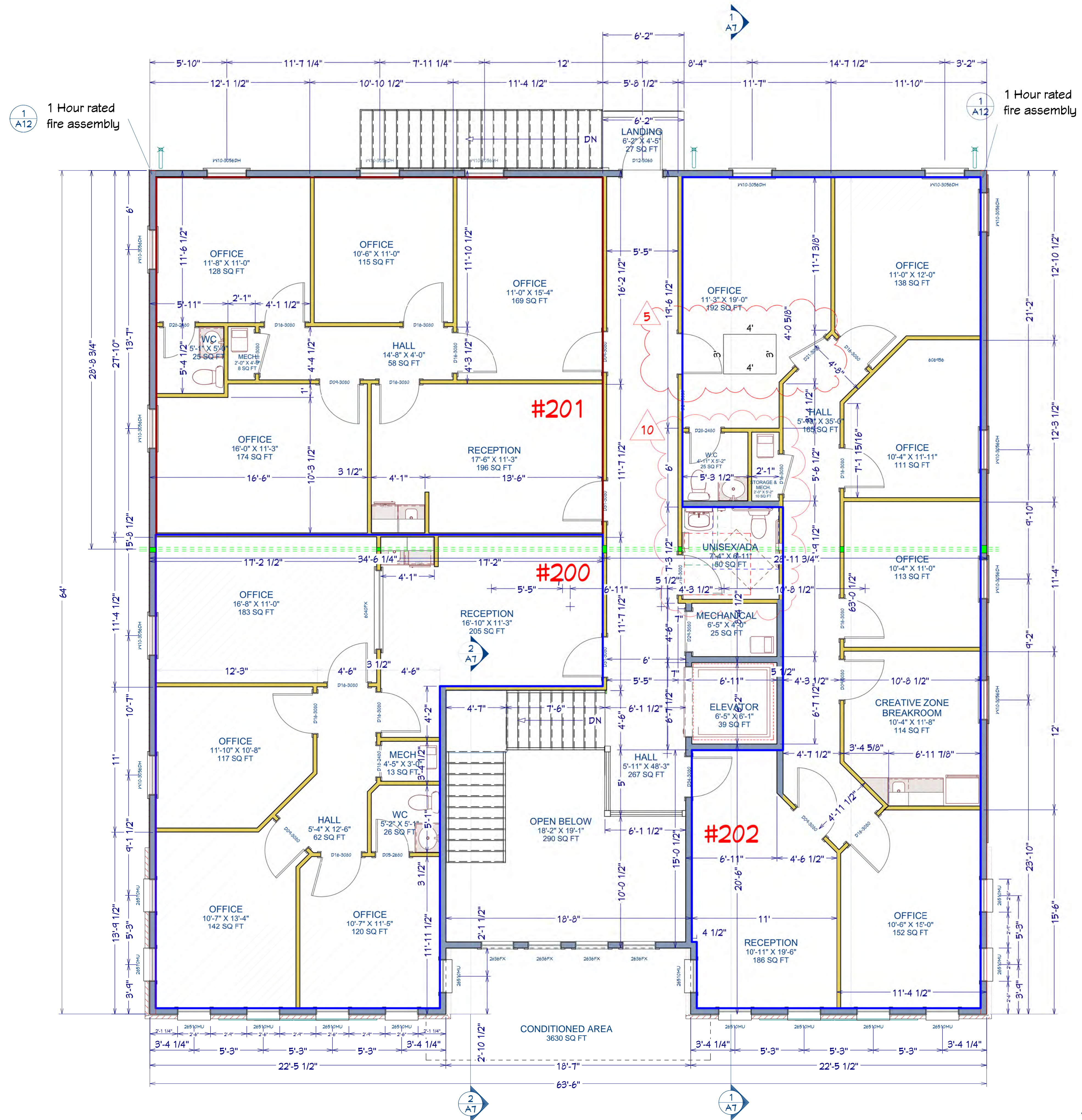
FIRST FLOOR PLAN

DATE:
4/25/22

SHEET:

A2

First Floor Plan
 Scale: 1/4" = 1'



1 Hour rated fire assembly
1 A12

1 Hour rated fire assembly
1 A12

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STATE OF SOUTH CAROLINA
 Registered Architects
Pendium Group, LLC
 Ravenel, SC
 No. 101636

STATE OF SOUTH CAROLINA
 Registered Architect
Ahmad M. Al-Shermeri
 Ravenel, SC
 No. 10394

4/25/22
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 Summerville, SC 29483

Label	Date	Description	Revised By	Revised Date
1-11	4/25/2022	Revised by Summerville B. Dept.	J.P.B.	

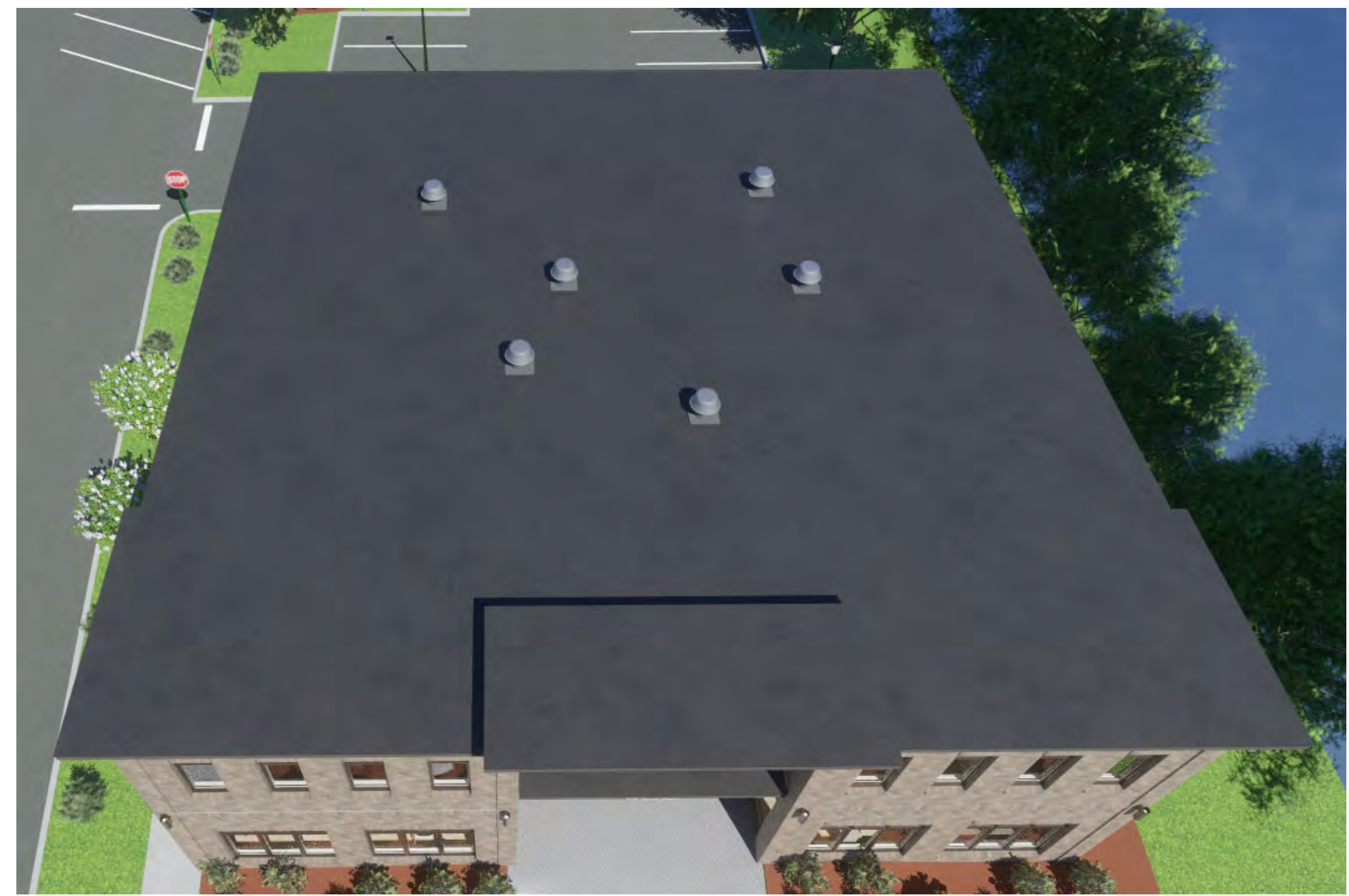
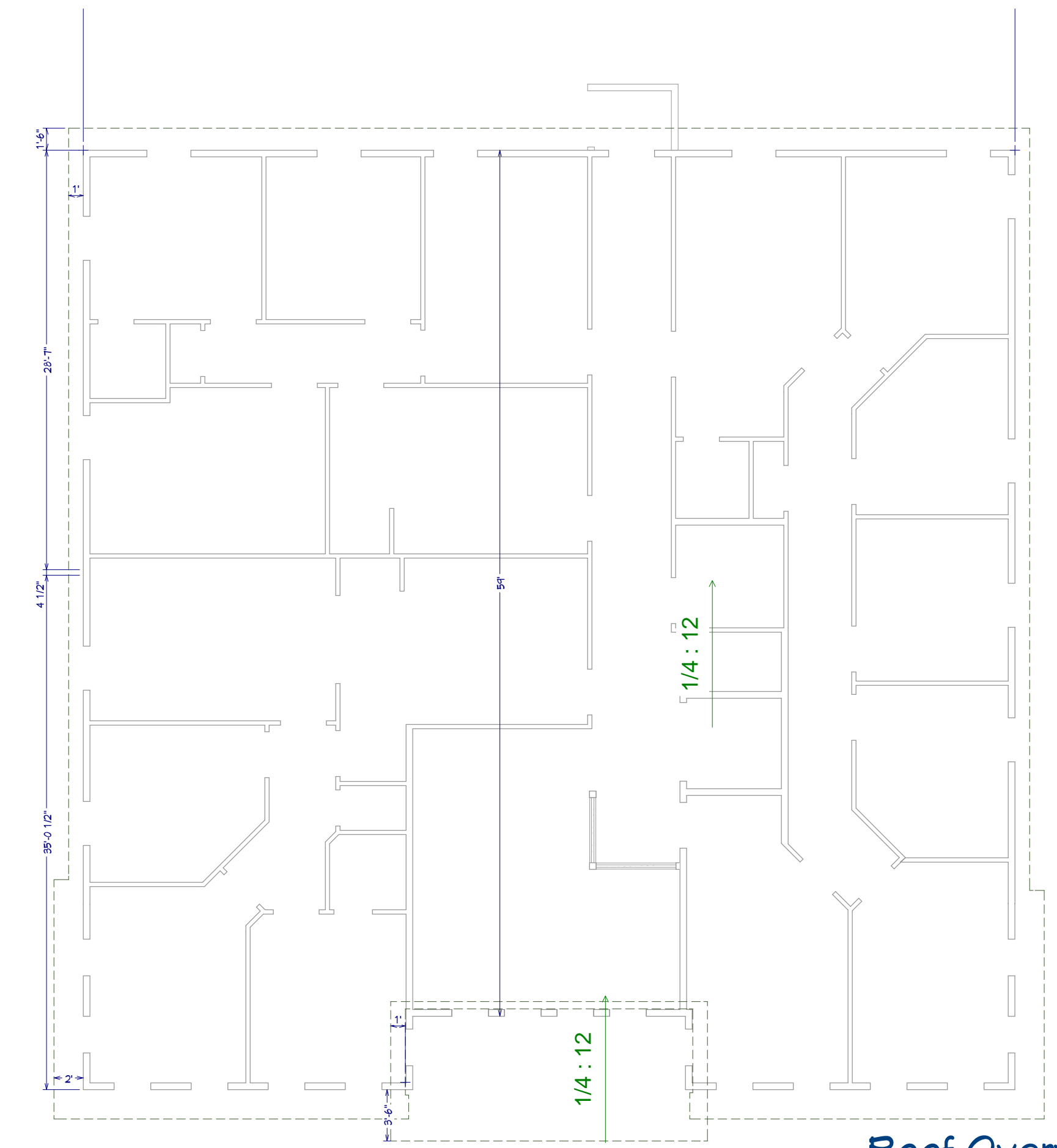
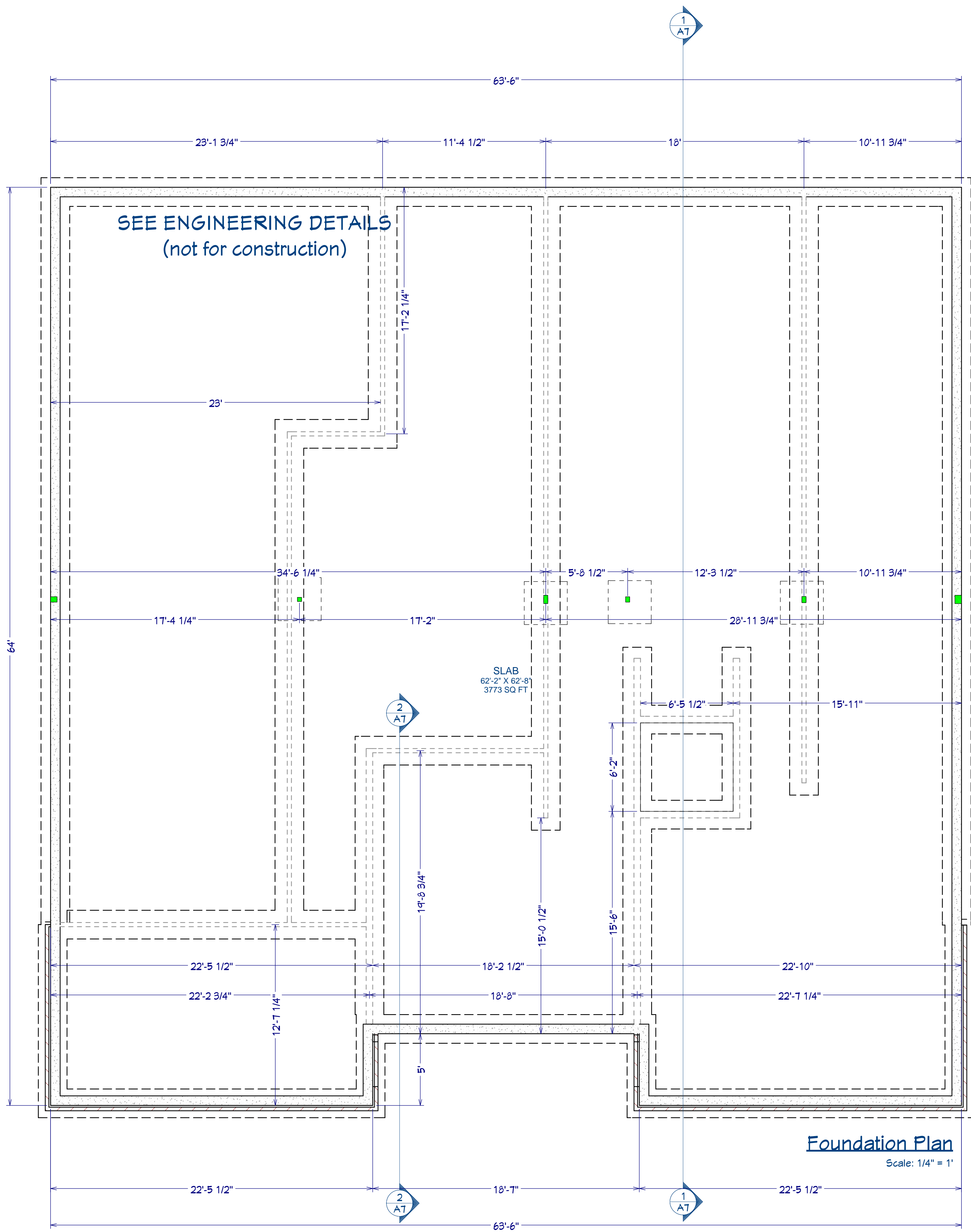
SECOND FLOOR PLAN

DATE:
4/25/22

SHEET:

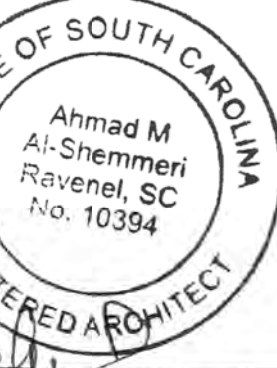
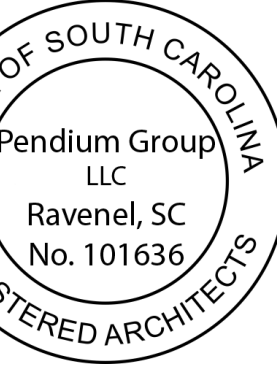
A3

Second Floor Plan
 Scale: 1/4" = 1'



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Label	Date	Description	Revised By

FOUNDATION & ROOF PLAN

DATE:
4/25/22

SHEET:

A4



Front Elevation
Scale: 1/4" = 1'



RENDERING FOR ILLUSTRATION ONLY
No Scale



Rear Elevation
Scale: 1/4" = 1'

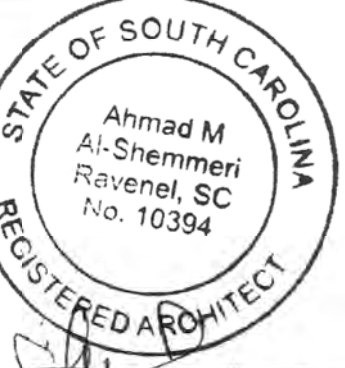


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4/25/22

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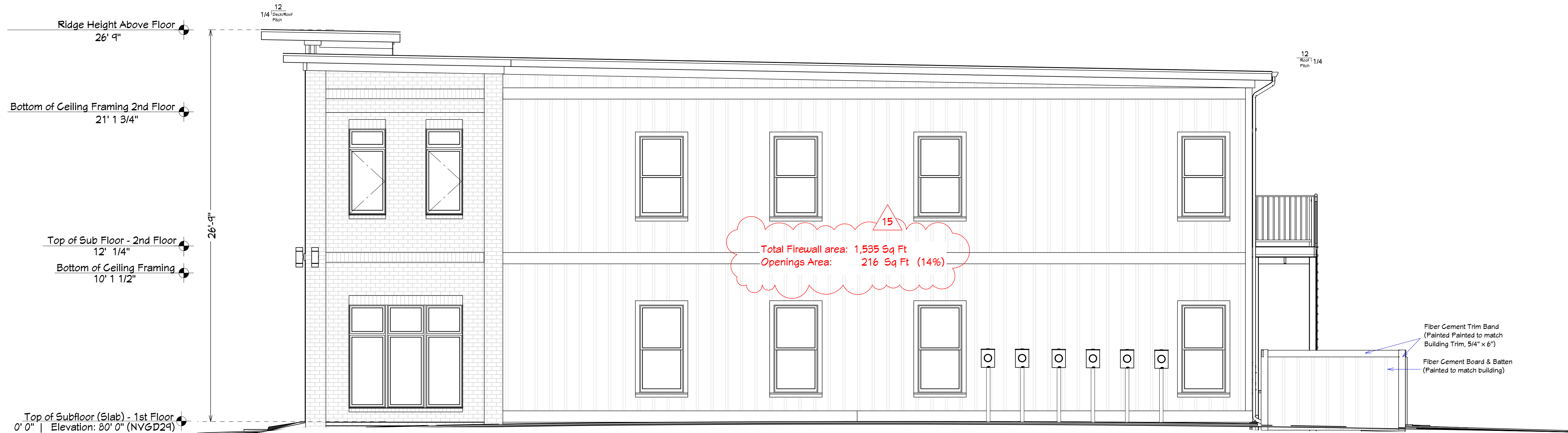
Label	Date	Description	Revision	By

EXTERIOR ELEVATIONS

DATE:
4/25/22

SHEET:

A5



Ridge Height Above Floor
26' 9"

Bottom of Ceiling Framing 2nd Floor
21' 1 3/4"

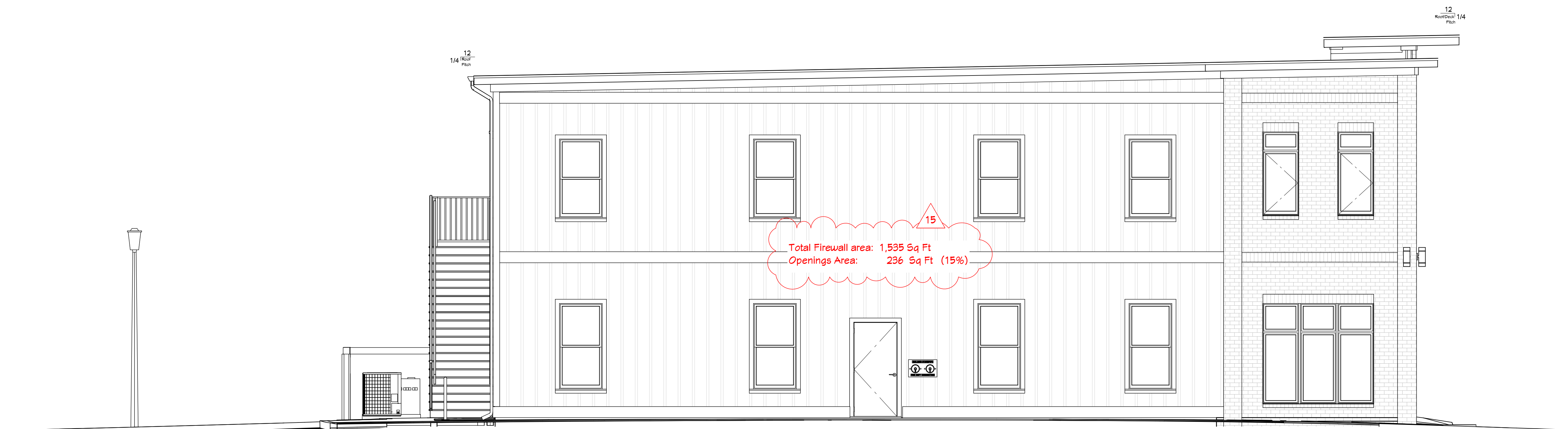
Top of Sub Floor - 2nd Floor
12' 1/4"

Bottom of Ceiling Framing
10' 1 1/2"

Top of Subfloor (Slab) - 1st Floor
0' 0" | Elevation: 80' 0" (NVGD29)

26'-0"

Right Elevation
Scale: 1/4" = 1'

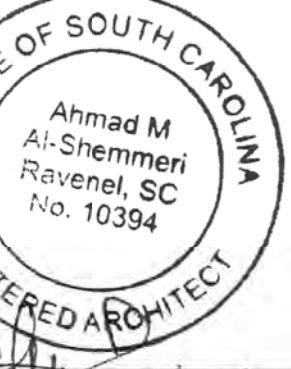


Left Elevation
Scale: 1/4" = 1'



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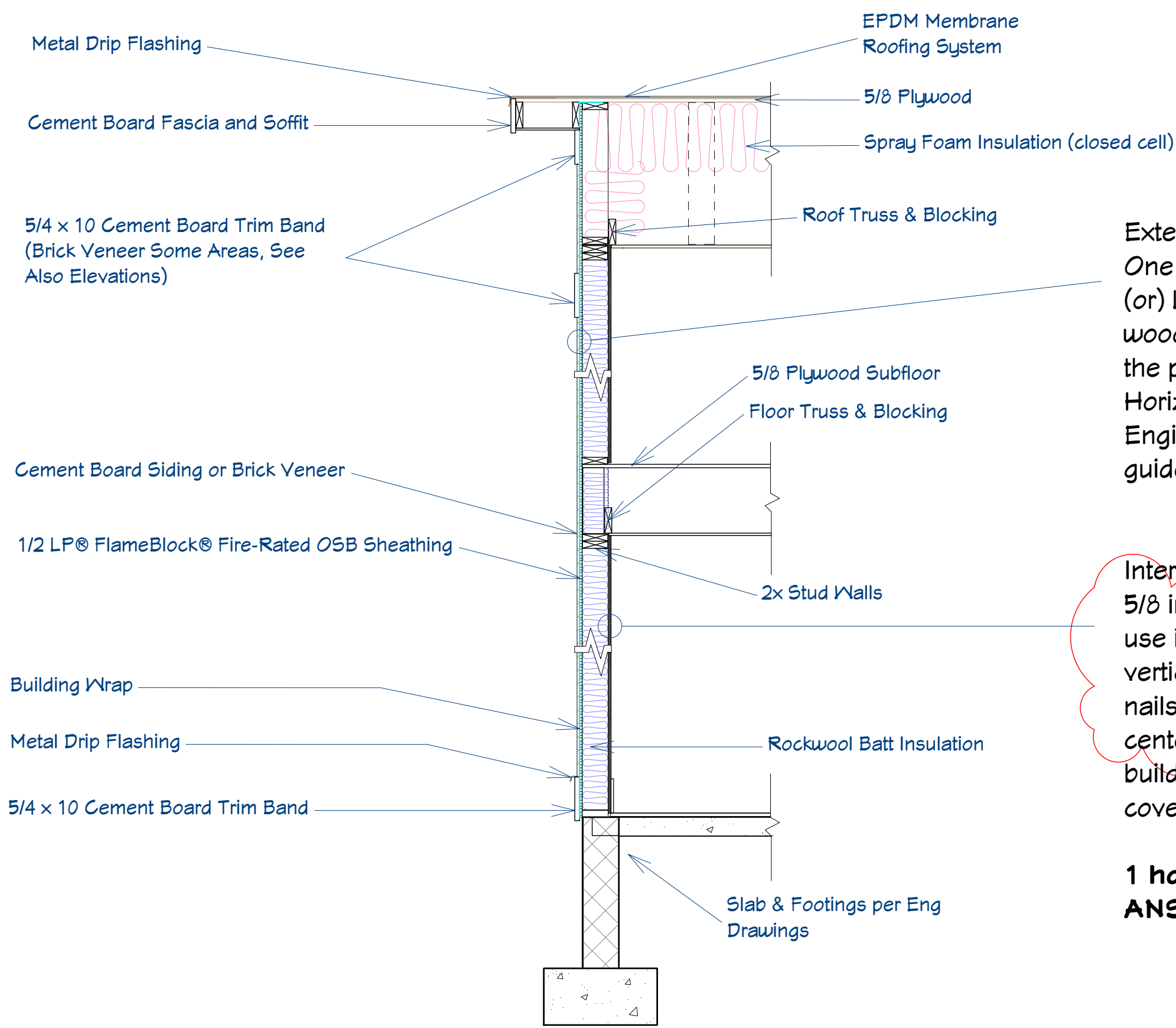
Revision Table	Description	Revised By	Revised Date
1	Requested by Summerville B	JTB	4/25/22
2			
3			

EXTERIOR ELEVATIONS

DATE:
4/25/22

SHEET:

A6



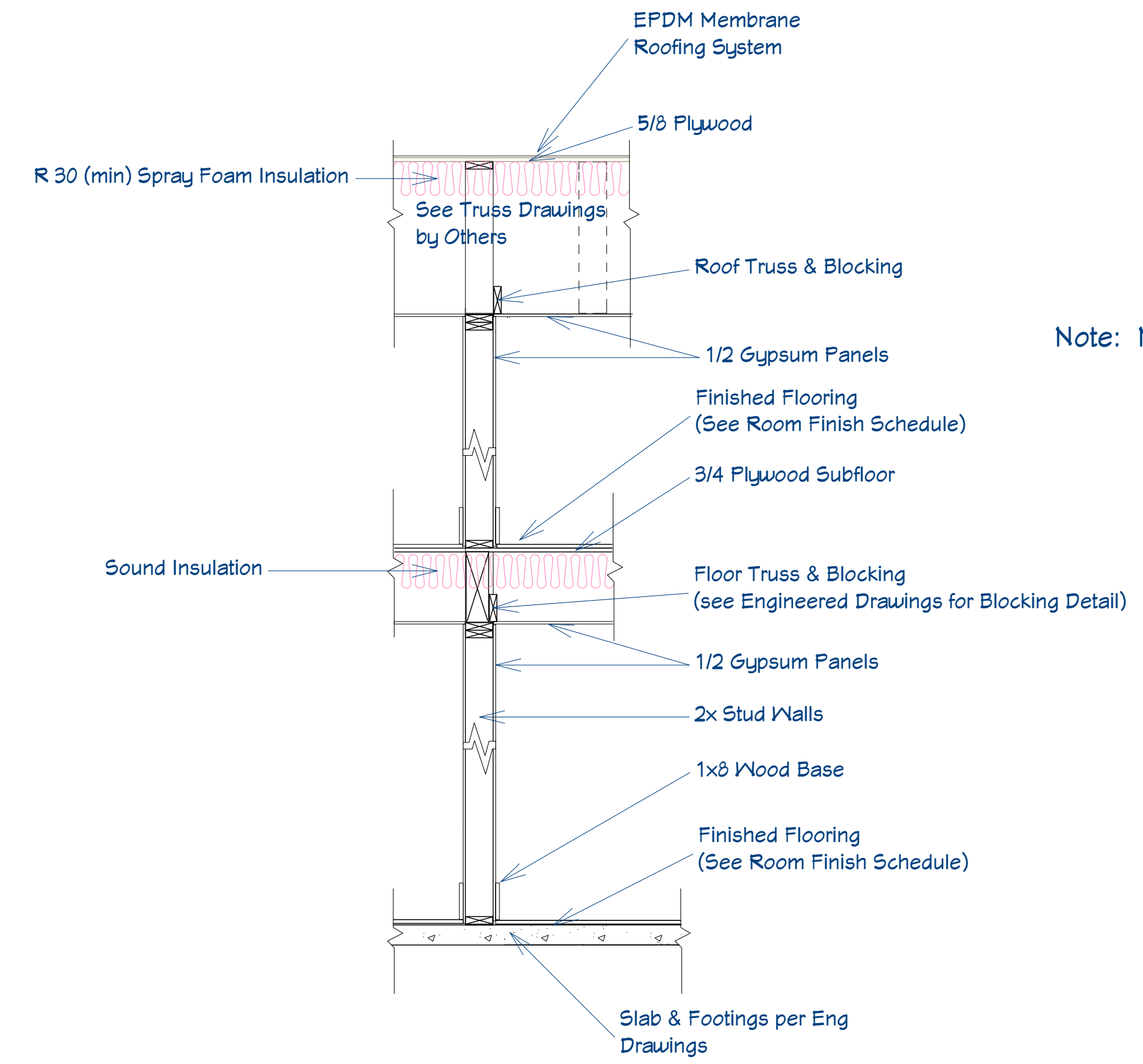
Exterior Side:
 One Layer 48"wide 1/2" LOUISIANA-PACIFIC CORP — Type Blazeguard 1-Side (or) LOUISIANA-PACIFIC CORP — Type LP FlameBlock 1-Side - nailed to the wood framing, coating to studs, with 1-7/8 in. long, 6d nails, spaced 6 in. OC. on the perimeter and 12 in. OC. in the field. Vertical joints centered on studs. Horizontal joints backed with nom. 2 by 4 wood blocking. (see also Structural Engineered drawings for additional nailing requirements. Follow all manufacturers guidelines for installation.)

Interior side:
 5/8 in. thick (Type X Firecode rated) 12' finished Gypsum Board that is eligible for use in Design Nos. L501, G512 or U305. Nom. 5/8 in. thick, 4 ft. wide, applied vertically, and nailed to studs and bearing plates 7 in. OC. with 6d cement coated nails, 1-7/8 in. long, 0.0915 in. shank diam. and 1/4 in. diam. head. Vertical joints centered over studs and staggered min. 1 stud cavity from the vertical joints of the building units. Wallboard joints covered with tape and joint compound. Nail heads covered with joint compound.

1 hour fire rating assembly based on BXUY - Fire Resistance Ratings - ANSI/UL 263 Certified for United States and UL Design No. Y340

TYPICAL - FIRE RATING of EXTERIOR WALLS (1 Hour) DETAILS
 UL DESIGN NO. Y340 USING 1- SIDED LP® FLAMEBLOCK®
 Scale: 1/2" = 1'

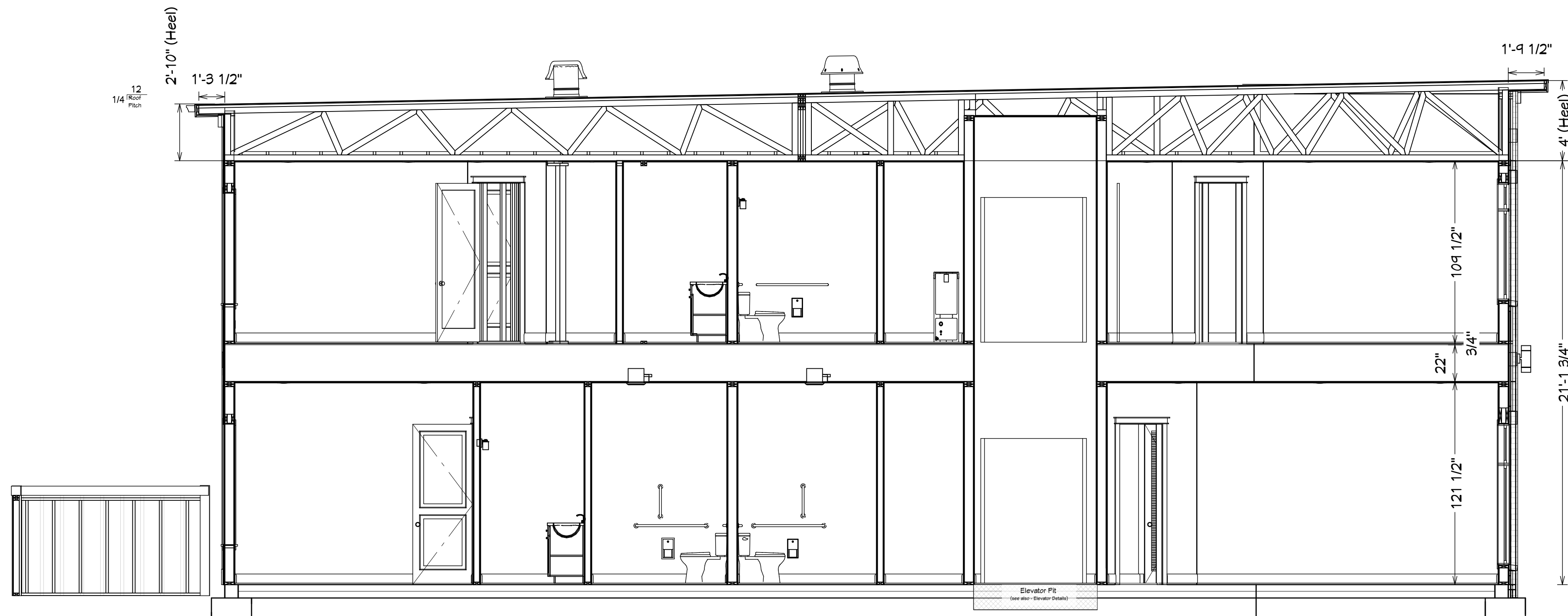
Wall Details



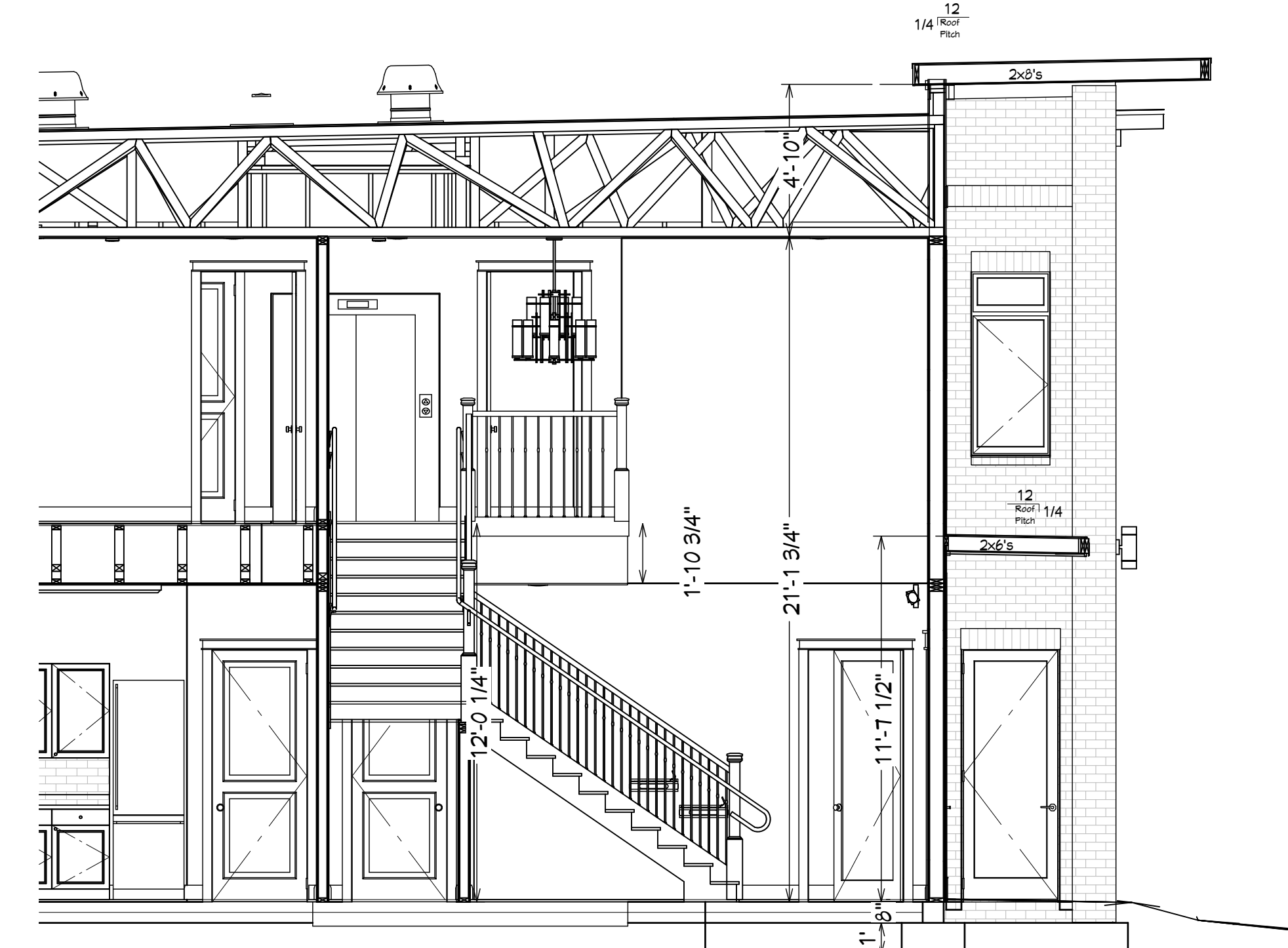
Note: No Suspended Ceilings.

TYPICAL - INTERIOR WALL DETAILS
 Scale: 1/2" = 1'

Wall Details



1
 A7 Main Rear to Front | Section View
 Scale: 1/4 in = 1 ft



2
 A7 Stair, Portico & Awning
 Scale: 1/4 in = 1 ft



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5-11	8/20/2022	Requested by Summerville B. Dept.			JTPB	

Sections and Details

DATE:
 4/25/22

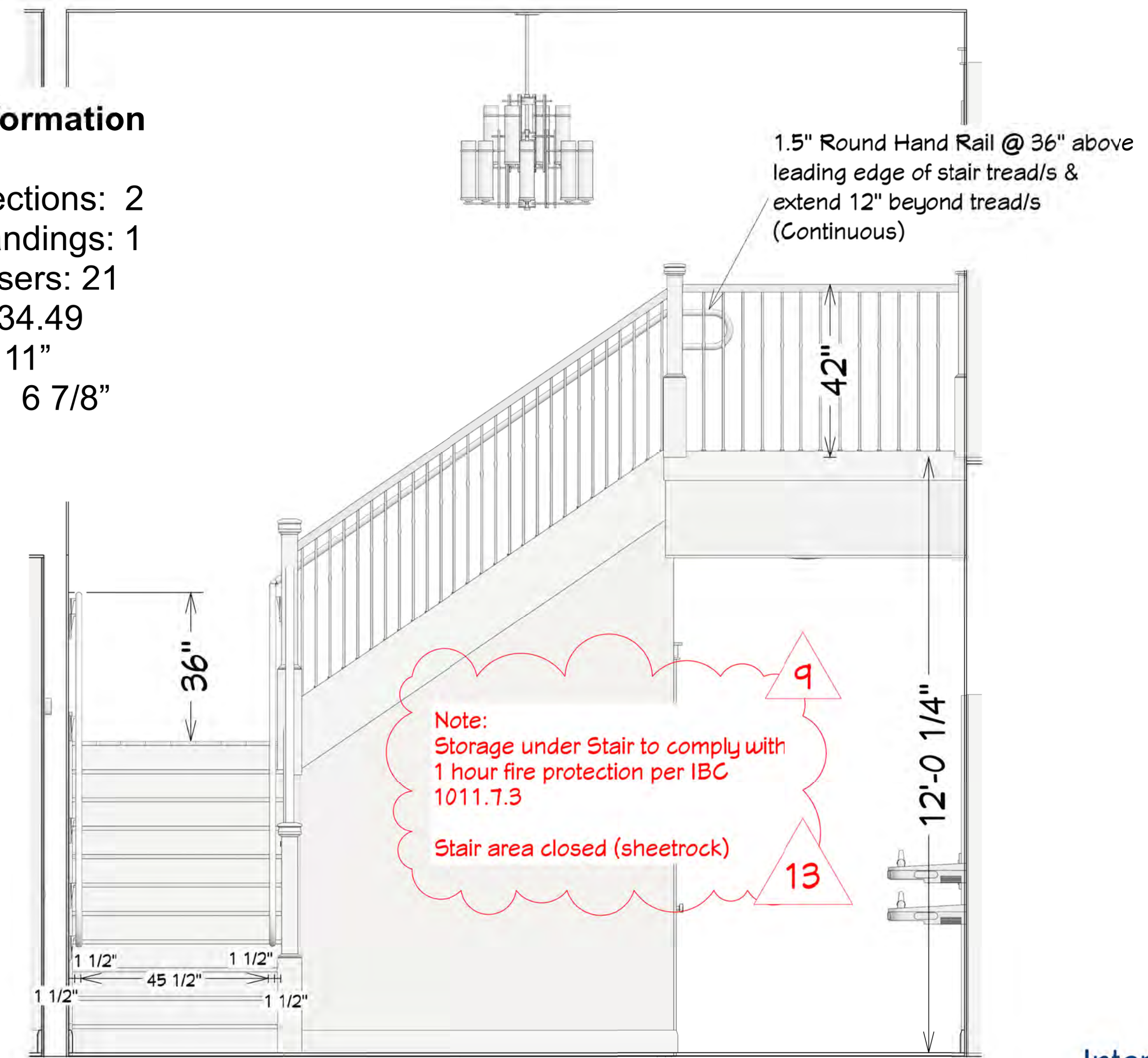
SHEET:

A7



Staircase Information

Number of Sections: 2
 Number of Landings: 1
 Number of Risers: 21
 Rise Angle: 34.49
 Tread Depth: 11"
 Riser Height: 6 7/8"

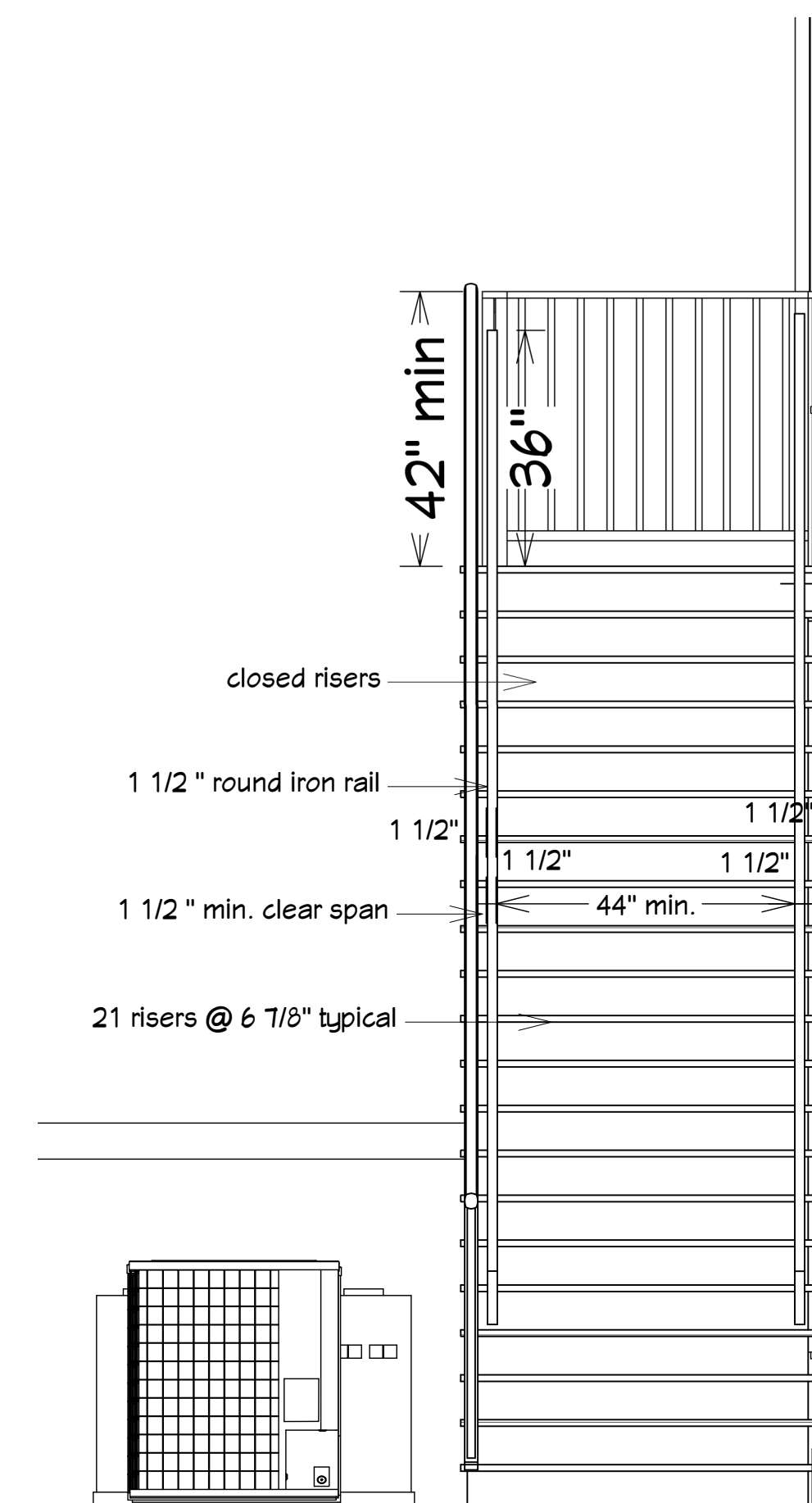
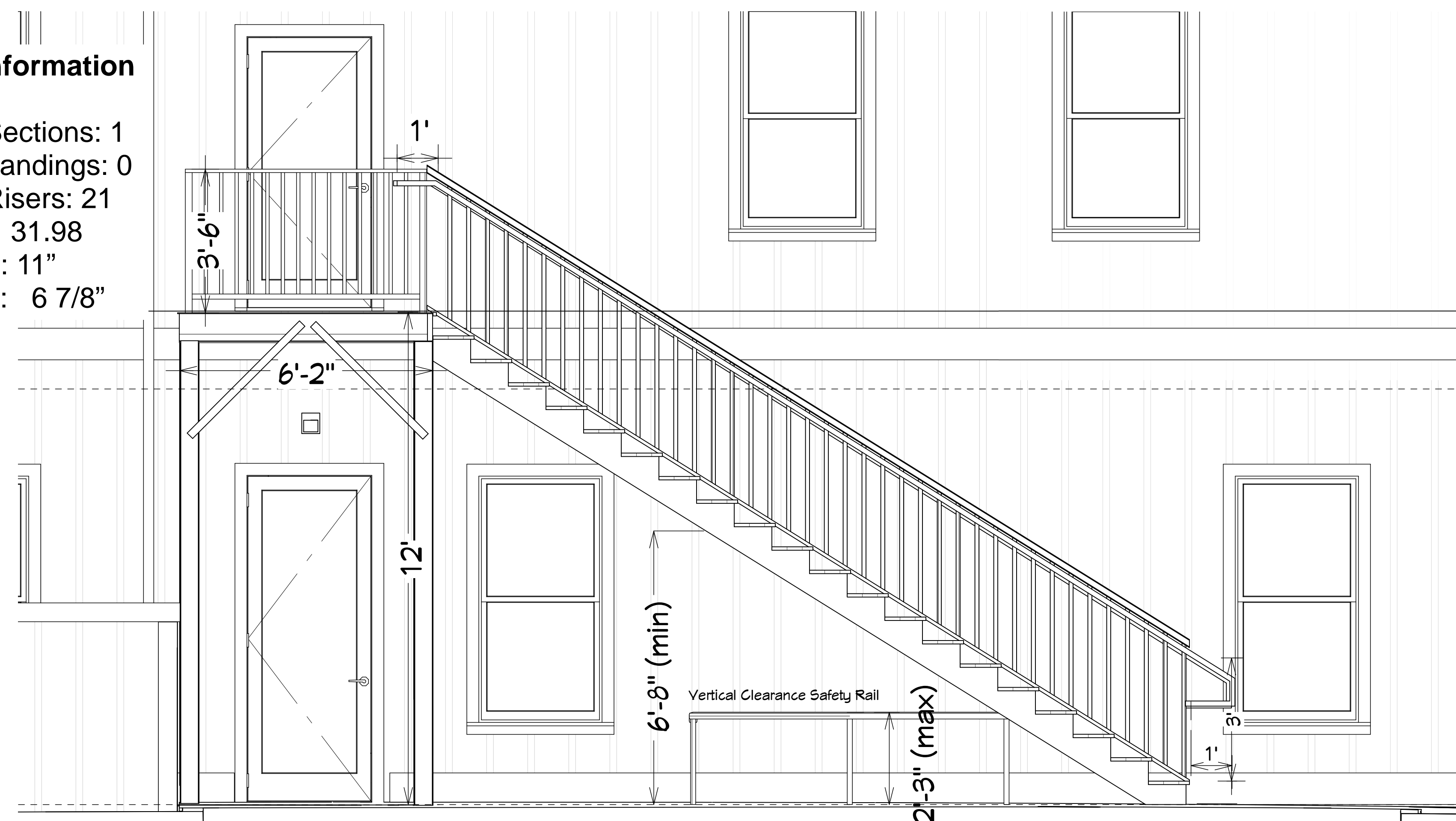


Interior Stairs

Scale: 1/2" = 1'

Staircase Information

Number of Sections: 1
 Number of Landings: 0
 Number of Risers: 21
 Rise Angle: 31.98
 Tread Depth: 11"
 Riser Height: 6 7/8"



Exterior Stairs

Scale: 1/2" = 1'



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Label	Date	Description	Revised
5-11	8/20/2022	Per Client Comments	JTW
		Requested by Summerville B	
		Ed:	

DETAILS/ SECTIONS

DATE:
 4/25/22

SHEET:

A8

Building Code Review

Note: This code analysis is conducted under 2018 International Building Code (IBC) & The 2017 ANSI A117.1. This review is intended primarily to determine the actual design requirements for this project and is subject to review by the local building/code officials.

Building Summary:

204 North Cedar Executive Office is a 2 story wood framed building with cement board and masonry on the exterior. The building has a sprinkler system.

Construction:

Use and Occupancy Classification: Group B (Business)
 Gross Floor Area: 7600
 Occupancy Load: Floor 1: 40, Floor 2: 37, Total: 77
 Construction Type: VB
 Fire Protection: Automatic Sprinkler System in Accordance with Section 903.3.1.1
 Highest Floor above grade: 13'

Exterior Fire Resistance Rating: 1 hour $\geq 5' \times < 10'$ (west & east wall - noted on plan)
 Maximum Area of Exterior Wall Openings: $< 25\%$ (west & east wall - noted on plan)
 Fire Ext.: $< 75'$ max travel - Minimum-rated 2-A
 Fire Alarm not required.

No area of Refuge requirements
 Corridor fire resistant rating: 0 hrs (Table 1020.1.1 2018 IBC)
 Common Path of Egress Travel:

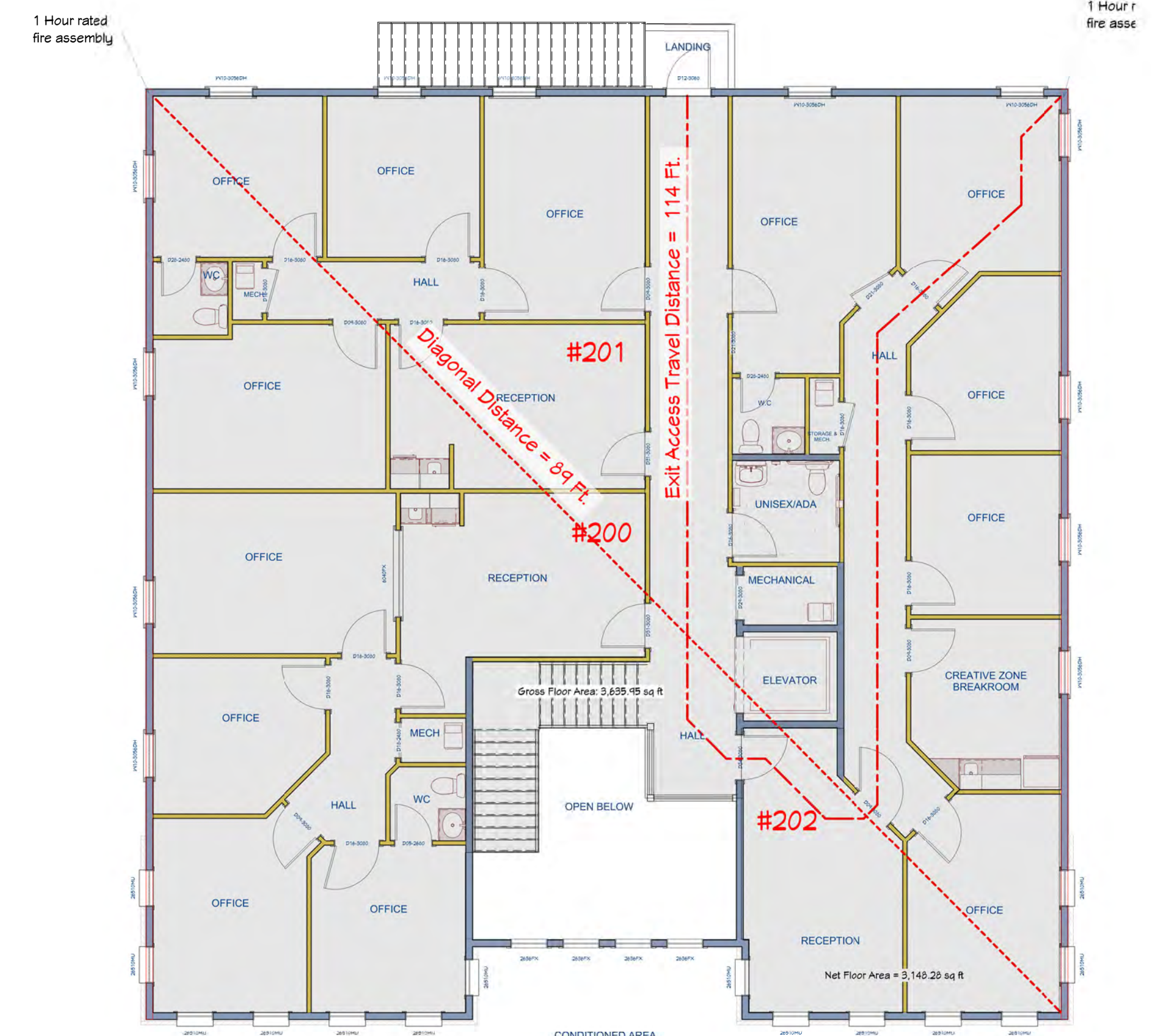
- Floor 1: $< 100'$ Discharges to exterior, two Exits required. No dead end corridor requirements.
 - Floor 2: $< 100'$ Discharges to exterior, two Exits required. No dead end corridor requirements.
- (Egress Door/s shall be readily openable from the egress side without the use of a key, special knowledge, or effort)
 Max Exit Access Travel: $< 300'$

Minimum Number of Plumbing Fixtures Required:
 3 ADA compliant Water Closets, 3 ADA compliant Lavatories, 1 Drinking Fountain. Building is compliant = 1 Female/ADA, 1 Male/ADA, 1 Unisex/ADA, 1 high/1 Low Drinking Fountain.

Notes:
 ADA service counter requirement that you must provide a counter located adjacent to a clear floor space of at least 30 inches by 48 inches within the accessible route with additional clear floor space required for a wheelchair turn space. This counter is to be no lower than 28 inches and no more than 36 inches maximum above the floor. The ADA counter is to have a 36 inch minimum length for a parallel approach or a 30 inch minimum length for a forward approach. A forward approach needs to have 12 inches of knee space under the counter.
 ADA user side requirements, counter height range for an ADA work surface is from 28 inches to 34 inches above finished floor. Also, the space behind the counter needs to have the space for a wheelchair, typically 60 inches of turning radius. This can be handled with the floor space under the counter also.



1st Floor



2nd Floor

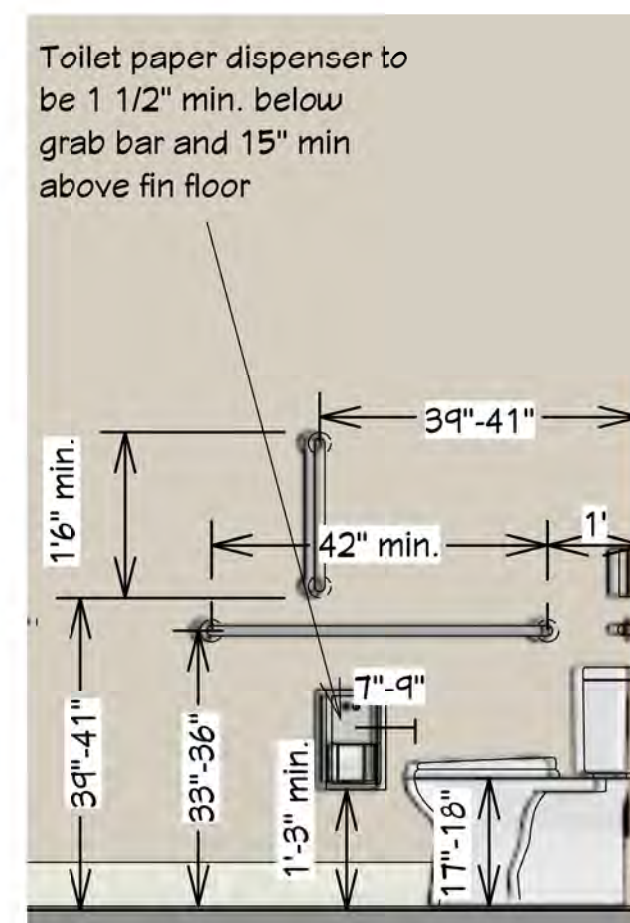
Life Safety Plan

Scale: 1/8" = 1'

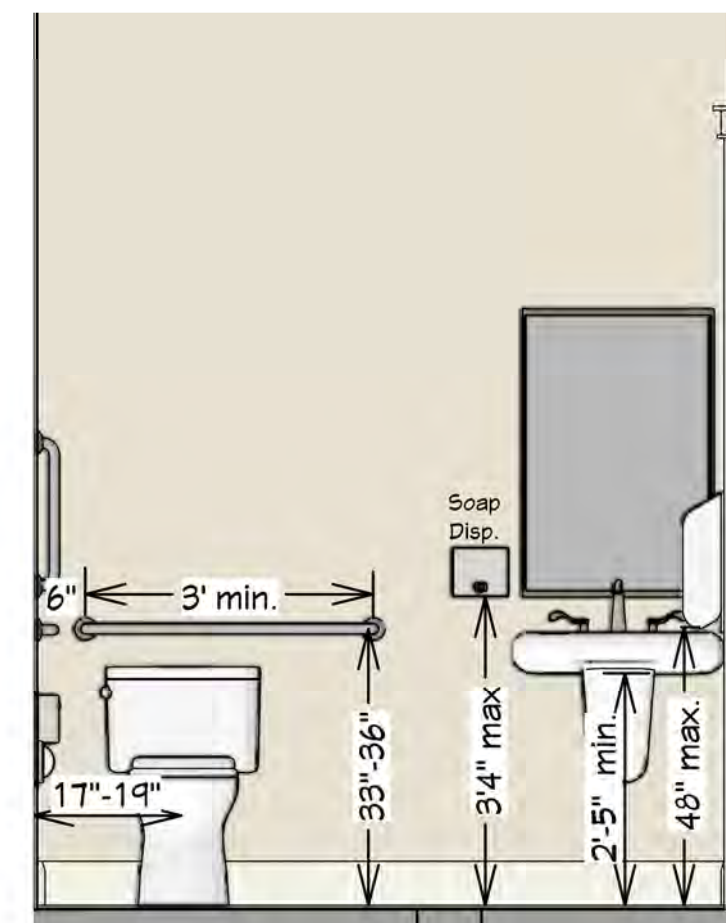
Notes:

Toilet rooms required to be accessible shall conform to all accessibility requirements of the Americans With Disabilities Act (ADA) which includes, but is not limited to the following:

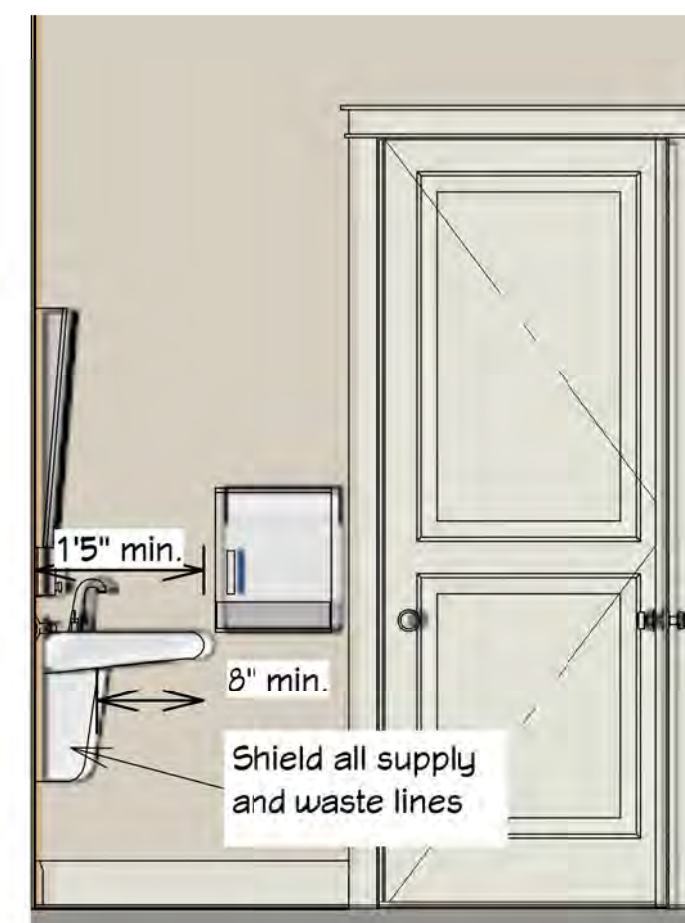
- A: Water closet seat height 17" to 18" AFF
- B: Centerline of water closet 18" from side wall
- C: Grab bars behind the water closet = 24" min. and 36" long max., mounted 33" to 36" AFF
- D: Grab bars at the water closet + 42" long mounted 33" to 36" AFF
- E: Grab bar diameter 1 1/4" to 1 1/2" in diameter
- F: Space between wall and grab bar = 1 1/2"
- G: Toilet paper dispenser = 36" max. from rear wall, mounted 19" AFF
- H: Knee Clearance at lavatory = Apron 29" min. height, 8" min. depth
- I: Mirror bottom edge = 40" AFF
- J: International symbol of accessibility to be installed on exterior of the toilet room door. Identification signs are raised sans serif or simple serif and also have grade 3 braille. Pictorial symbols are at least 6" high and include verbal description. Room identification shall be installed on the wall adjacent to the latch side of the room door at a height of 60". Provide clear floor space at sign.
- K: Lavatory depth = 17" minimum
- L: Lavatory hot water and drain pipes to be insulated where exposed
- M: Lavatory rim Surface 2' 10" AFF max.



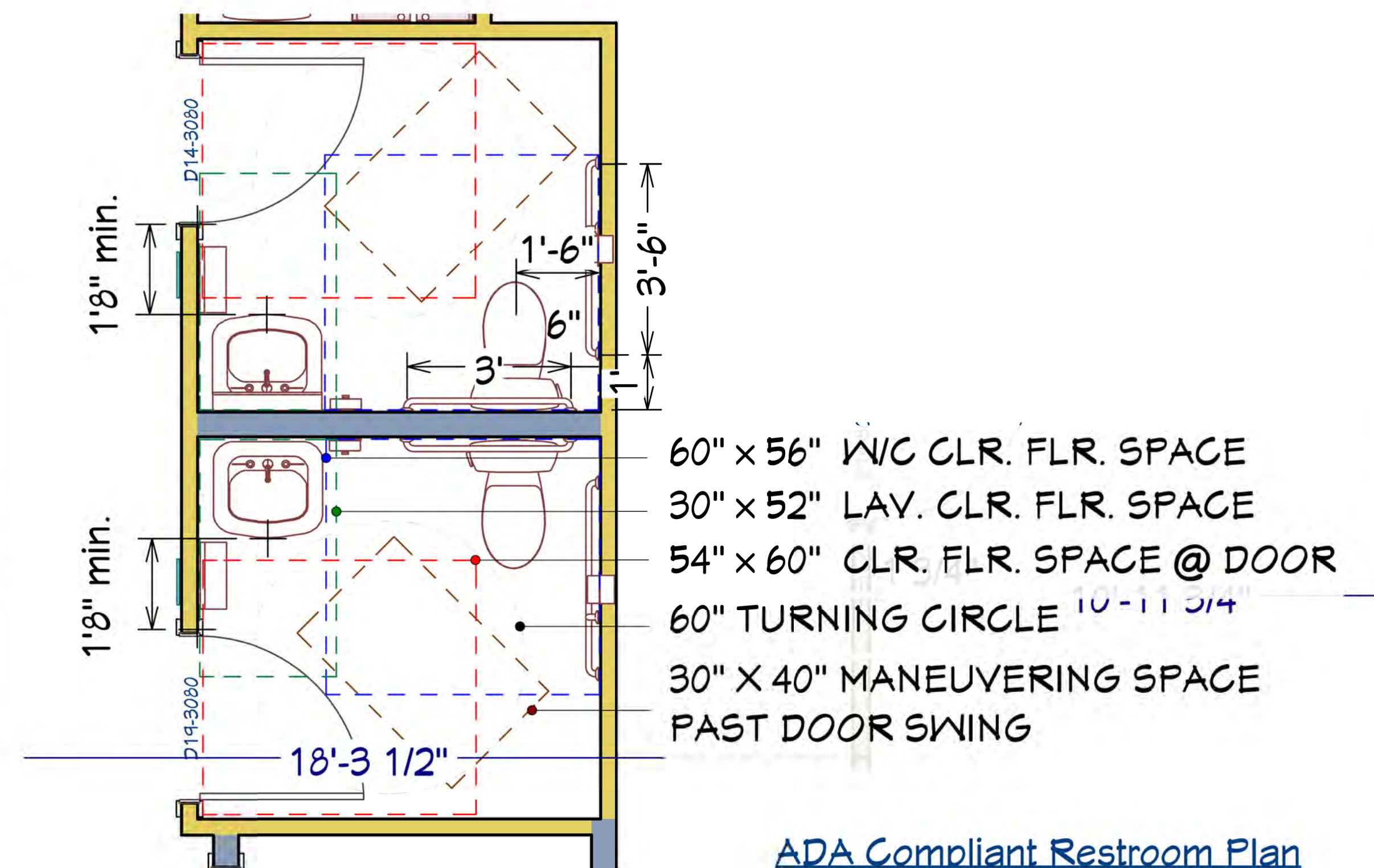
W/C side view



W/C & Sink front view



Sink side view



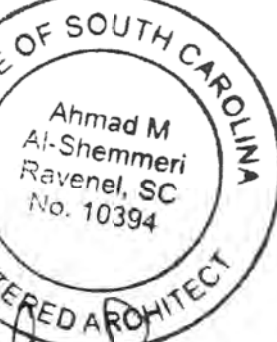
ADA Compliant Restroom Plan

Scale: 1/2" = 1'



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Revision Table	Description	Date	By	Checked
1	Reg. Check/Revision/Comments	8/24/2022	JTYB	JTYB
2	Reg. Check/Revision/Comments	8/24/2022	JTYB	JTYB

LIFE SAFETY & ADA PLAN

DATE:
4/25/22

SHEET:

A9

INTERIOR DOOR SCHEDULE												
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	JAMB SIZE	THICKNESS	TEMPERED	
D04	D04-2680	2	1	2680 R IN	30"	46"	32"X48 1/2"	HINGED-DOOR P04	3/4"X4 1/2"	1 3/8"		
D05	D05-2680	1	2	2680 L IN	30"	46"	32"X48 1/2"	HINGED-DOOR P04	3/4"X4 1/2"	1 3/8"		
D06	D06-2480	1	2	2480 R IN	28"	46"	30"X48 1/2"	HINGED-DOOR P04	3/4"X4 1/2"	1 3/8"		
D09	D09-3080	6	2	3080 L IN	36"	46"	38"X48 1/2"	HINGED-DOOR P04	3/4"X4 1/2"	1 3/8"		
D14	D14-3080	14	1	3080 L IN	36"	46"	38"X48 1/2"	HINGED-DOOR P04	3/4"X4 1/2"	1 3/8"		
D15	D15-3080	1	1	3080 R IN	36"	46"	38"X48 1/2"	HINGED-GLASS PANEL	3/4"X6 1/2"	1 3/8"	YES	
D16	D16-3080	13	2	3080 R IN	36"	46"	38"X48 1/2"	HINGED-DOOR P04	3/4"X4 1/2"	1 3/8"		
D17	D17-2480	1	1	2480 L IN	28"	46"	30"X48 1/2"	HINGED-LOUVERED	3/4"X4 1/2"	1 3/8"		
D18	D18-2480	1	2	2480 L IN	28"	46"	30"X48 1/2"	HINGED-LOUVERED	3/4"X4 1/2"	1 3/8"		
D19	D19-3080	4	1	3080 R IN	36"	46"	38"X48 1/2"	HINGED-DOOR P04	3/4"X4 1/2"	1 3/8"		
D20	D20-3080	1	1	3080 R IN	36"	46"	38"X48 1/2"	HINGED-DOOR P04	3/4"X6 1/2"	1 3/8"		
D21	D21-3080	1	2	3080 R IN	36"	46"	38"X48 1/2"	HINGED-GLASS PANEL	3/4"X4 1/2"	1 3/8"	YES	
D24	D24-3080	1	1	3080 L IN	36"	46"	38"X48 1/2"	HINGED-GLASS PANEL	3/4"X6 1/2"	1 3/8"	YES	
D26	D26-2480	1	1	2480 L IN	28"	46"	30"X48 1/2"	HINGED-DOOR P04	3/4"X4 1/2"	1 3/8"		
D27	2880	2	1	2880 L IN	32"	46"	34"X48 1/2"	HINGED-DOOR P04	3/4"X4 1/2"	1 3/8"		
D28	D28-21080	1	2	21080 R IN	34"	46"	36"X48 1/2"	HINGED-DOOR P04	3/4"X4 1/2"	1 3/8"		
D29	D29-3080	1	2	3080 L IN	36"	46"	38"X48 1/2"	HINGED-DOOR P04	3/4"X6 1/2"	1 3/8"		
D31	D31-3080	3	2	3080 L IN	36"	46"	38"X48 1/2"	HINGED-GLASS PANEL	3/4"X4 1/2"	1 3/8"	YES	
D34	D34-3080	1	2	3080 L IN	36"	46"	38"X48 1/2"	HINGED-GLASS PANEL	3/4"X6 1/2"	1 3/8"	YES	

WINDOW SCHEDULE - JELDOWEN ALL VINYL												
NUMBER	3D PERSPECTIVE	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	GLAZING TYPE	TEMPERED	
W01		2668FX	2	1	2668FX	30"	80"	31"X81"	FIXED GLASS	DOUBLE PANE WITH LOW-E	YES	
W02		26510MU	14	2	26510	30"	70"	31"X71"	MULLED UNIT	DOUBLE PANE WITH LOW-E		
W03		W03-3060DH	1	1	3060DH	36"	72"	37"X73"	DOUBLE HUNG	DOUBLE PANE WITH LOW-E	YES	
W06		W06-3060DH	12	1	3060DH	36"	72"	37"X73"	DOUBLE HUNG	DOUBLE PANE WITH LOW-E		
W10		W10-3056DH	13	2	3056DH	36"	66"	37"X67"	DOUBLE HUNG	DOUBLE PANE WITH LOW-E		
W14		26310FX	8	2	26310FX	30"	46"	31"X47"	FIXED GLASS	DOUBLE PANE WITH LOW-E		
W16		7670MU	6	1	7670	40"	84"	41"X85"	MULLED UNIT	DOUBLE PANE WITH LOW-E	YES	
W18		2618FX	4	1	2618FX	30"	20"	31"X21"	FIXED GLASS	DOUBLE PANE WITH LOW-E		

EXTERIOR DOOR SCHEDULE												
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	JAMB SIZE	THICKNESS	TEMPERED	
D03	D03-3080	2	1	3080 R EX	36"	46"	38"X49"	EXT. HINGED-GLASS PANEL	3/4"X6 1/16"	1 3/4"	YES	
D04	D04-3080	1	1	3080 L EX	36"	46"	38"X49"	EXT. HINGED-GLASS PANEL	3/4"X6 1/16"	1 3/4"	YES	
D05	D05-6080	1	1	6080 L/R EX	72"	46"	74"X49"	EXT. DOUBLE HINGED-GLASS PANEL	3/4"X6 1/16"	1 3/4"	YES	
D07	D07-3068	1	1	3068 R EX	36"	80"	38"X83"	EXT. HINGED-GLASS	3/4"X6 1/16"	1 3/4"		
D12	D12-3068	1	2	3068 R EX	36"	80"	38"X83"	EXT. HINGED-GLASS PANEL	3/4"X6 1/16"	1 3/4"	YES	

Room Finish Schedule							
Floor	Room Name	Area, Interior (sq ft)	Ceiling Height	Wall Material	Floor Finish	Ceiling Finish	
1	Office	89	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Office	154	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Landing	27	N/A	Cement Board & Batten--PAINTED: Sealskin (SW 7675)	Steel	N/A	
1	Storage	10	121 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
2	Storage & Mech.	26	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Elevator Mech.	25	121 1/2"	Drywall	Concrete	Drywall, Smooth Finish	
2	Mech	13	109 1/2"	Drywall	Concrete	Drywall, Smooth Finish	
2	Office	113	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Hall	58	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Reception	201	121 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
1	Elevator	39	N/A	Drywall	Concrete	Drywall, Smooth Finish	
1	Office	113	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Hall	15	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Hall	267	109 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
1	Porch	27	N/A	Cement Board & Batten--PAINTED: Sealskin (SW 7675)	Concrete	Steel, Black	
1	Hall	19	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Office	98	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Creative Zone & Breakroom	160	121 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
1	Conference	195	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Hall	26	121 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
1	Office	141	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Mech.	18	121 1/2"	Drywall	Concrete	Drywall, Smooth Finish	
1	Entry Foyer & Hall	502	121 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
1	Office	120	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	His/ADA	50	121 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
1	Reception	256	121 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
1	Office	107	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Storage	22	121 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
1	Her/ADA	49	121 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
1	Office	142	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Office	123	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Office	132	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Office	182	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Hall	228	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Lav.	36	121 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
1	Hall	161	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Office	106	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
1	Sprinkler Riser & Mechanical	40	121 1/2"	Drywall	Concrete	Drywall, Smooth Finish	
2	Elevator	39	136 1/2"	Drywall	N/A	Drywall, Smooth Finish	
2	Mechanical	25	109 1/2"	Drywall	Concrete	Drywall, Smooth Finish	
2	Reception	186	109 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
2	Open Below	290	109 1/2"	Drywall	N/A	Drywall, Smooth Finish	
2	Unisex/ADA	50	109 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
2	Office	115	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Office	183	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Office	152	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Office	151	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Mech	8	109 1/2"	Drywall	Concrete	Drywall, Smooth Finish	
2	Creative Zone Breakroom	114	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Hall	158	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Office	128	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Office	198	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Storage	49	121 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Office	142	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	WC	25	109 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
2	Office	111	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Hall	62	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Reception	196	109 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
2	Office	169	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Office	117	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	Office	174	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	
2	WC	26	109 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
2	Reception	205	109 1/2"	Drywall	LVP - MSI Commercial Grade Style/Whitfield Gray	Drywall, Smooth Finish	
2	Office	120	109 1/2"	Drywall	Mohawk, Plaza Point-City View, Tufted Pattern Loop/Weldlok Backing	Drywall, Smooth Finish	

BASIC WINDOW FLASHING DETAIL



- 1) PREPARE ROUGH OPENING: CUT STND. "U-CUT" IN THE WRB. CUT (2) 45° SLITS AT TOP TO CREATE FLAP. APPLY FLEXIBLE FLASHING AT SILL + 6" MIN. UP JAMBS. SECURE FLEXED EDGE OF FLASHING WITH MECHANICAL FASTENERS.
 - 2) INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.
 - 3) APPLY FLASHING TAPE AT JAMBS, EXTENDING 1" ABOVE AND BELOW WINDOW HEAD FLANGE AND BOTTOM OF SILL FLASHING. APPLY FLASHING TAPE ALONG HEAD, EXTENDING BEYOND OUTER EDGES OF JAMB FLASHING.
 - 4) REPLACE WRB FLAP AT HEAD AND TAPE REMAINING CUTS IN WRB
- *REVISE INSTALLATION PROCESS ACCORDING TO WINDOW MANUFACTURER'S INSTRUCTIONS



DRAWINGS PROVIDED BY:
Pendium Group, LLC
 4265 Duck Club Rd., Ravenel, SC 29470
 o. 843.405.7055 | f. 888.887.5076 | pendium.com

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4/25/22

Executive Offices
 208 North Cedar
 Summerville, SC 29483

Revision	Date	Description

Schedules

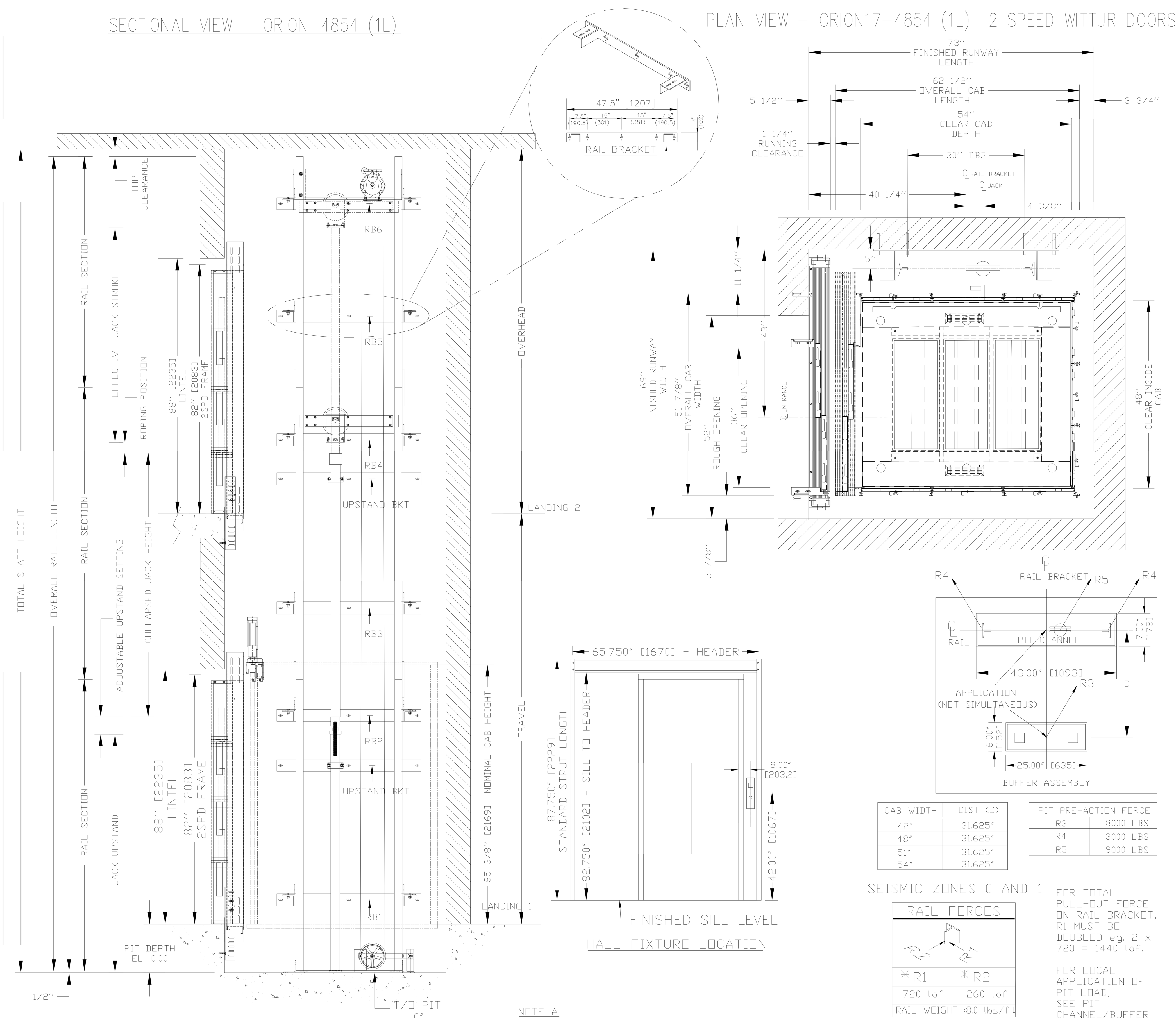
DATE:
4/25/22

SHEET:

A10

SECTIONAL VIEW - ORION-4854 (1L)

PLAN VIEW - ORION17-4854 (1L) 2 SPEED WITTUR DOORS



PROVISIONS BY OTHERS

***GENERAL**
HOISTWAY- THE HOISTWAY MUST BE IN ACCORDANCE WITH SAFETY CODE FOR ELEVATORS (ASME A17.1 OR B44-2000) AND ALL STATE/PROVINCIAL AND LOCAL CODES.

PLUMB HOISTWAY- DUE TO CLOSE RUNNING CLEARANCES OWNER/AGENT MUST ENSURE THAT HOISTWAY AND PIT (WHERE PROVIDED) ARE LEVEL, PLUMB AND SQUARE AND ARE IN ACCORDANCE WITH THE DIMENSIONS ON THESE DRAWINGS.

MINIMUM OVERHEAD CLEARANCE- OWNER/AGENT MUST ENSURE MINIMUM OVERHEAD CLEARANCE IS IN COMPLIANCE WITH CODES.

CONSTRUCTION SITE- OWNER/AGENT TO PROVIDE ALL MASONRY, CARPENTRY AND DRYWALL WORK AS REQUIRED AND SHALL PATCH AND MAKE GOOD (INCLUDING FINISH PAINTING) ALL AREAS WHERE WALLS/FLOORS MAY REQUIRE TO BE CUT, DRILLED OR ALTERED IN ANY WAY TO PERMIT THE PROPER INSTALLATION OF THE LIFT.

DIMENSIONS
 CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.

***STRUCTURAL**
FLOOR/SUPPORT WALL LOADS- STRUCTURAL ENGINEER TO ASSURE THAT BUILDING AND SHAFT WILL SAFELY SUPPORT ALL LOADS IMPOSED BY THE LIFT EQUIPMENT. REFER TO THE TABLES ON THIS DRAWING FOR LOADS IMPOSED BY THE EQUIPMENT.

DOORS- SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT. DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.

***MACHINE ROOM**
LOCATION / ACCESS- MACHINE ROOM LOCATED AT THE LOWEST LEVEL ADJACENT TO HOISTWAY, UNLESS SHOWN OTHERWISE ON THE LAYOUT DRAWINGS. FIELD ADJUSTMENT BY INSTALLER MAY BE NECESSARY TO MEET JOB SITE CONDITIONS OR REGULATIONS. ACCESS TO MACHINE ROOM TO BE THROUGH A SELF CLOSING AND SELF LOCKING DOOR.

SLEEVES FOR OIL & ELECTRIC LINES- PROVIDED BY OTHERS, FROM MACHINE ROOM TO HOISTWAY. (POSITION PER INSTALLERS INSTRUCTIONS).

MOTOR INFO	INPUT VOLTAGE (V/PH/CYCLE)	DISCONNECT SIZE (AMPS)	TIME DELAY FUSE (AMPS)	FULL LOAD CURRENT (AMPS)
	208/3PH/60HZ	30	30	15.6
	230/1PH/60HZ	60	40	21
CAB LIGHTS	115/1PH	15	15	

***ELECTRICAL**
POWER SUPPLY- (SEE SPECIFICATIONS) LOCKABLE FUSED DISCONNECT WITH AUXILIARY CONTACT TO BRAKE THE BATTERY FEED, OR CIRCUIT BREAKERS WITH A 3-POLE BREAKER FOR BATTERY FEED REQUIRED, IN COMPLIANCE WITH ELECTRICAL CODE, AS FOLLOWS: (LOCATED ON WALL ON LOCK JAMB SIDE OF MACHINE ROOM DOOR)

PERMANENT POWER- BEFORE INSTALLATION CAN BEGIN, PERMANENT POWER MUST BE SUPPLIED.

LIGHTING- OWNER/AGENT TO ENSURE AT LEAST 5 FTC OR 54 LUX AMBIENT LIGHTING OVER ELEVATOR AREA.

***ENTRANCES**
FASCIA PANEL BELOW UPPER LEVEL ENTRANCE- WHERE REQUIRED, FASCIA PANEL MUST BE FASTENED TO A SOLID WALL AND BE PERPENDICULAR TO THE FLOOR AND WALLS. HOISTWAY FASCIA IS NOT SELF-SUPPORTING FOR LONG, CONTINUOUS RUNS VOID OF ENTRANCES. ADEQUATE SUPPORT AND THE FASCIA MUST BE PROVIDED BY OTHERS.

ENTRANCE ASSEMBLIES- ENTRANCE ASSEMBLIES MUST BE ADJUSTED TO ALIGN WITH PLATFORM AND INTERLOCK EQUIPMENT. OTHERS TO ALLOW AN ADEQUATE ROUGH OPENING.

RETURN WALLS- RETURN WALLS AT ENTRANCES MUST BE BUILT-IN BY OTHERS AFTER ENTRANCE ASSEMBLIES ARE IN PLACE. ENTRANCE ASSEMBLY MUST BE SECURELY FASTENED TO WALLS BY ELEVATOR CONTRACTOR.

Note: All Elevator design, forces, connections & installation to comply with Seismic Design Category D

REV-000

PIT / OVERHEAD REQUIREMENTS

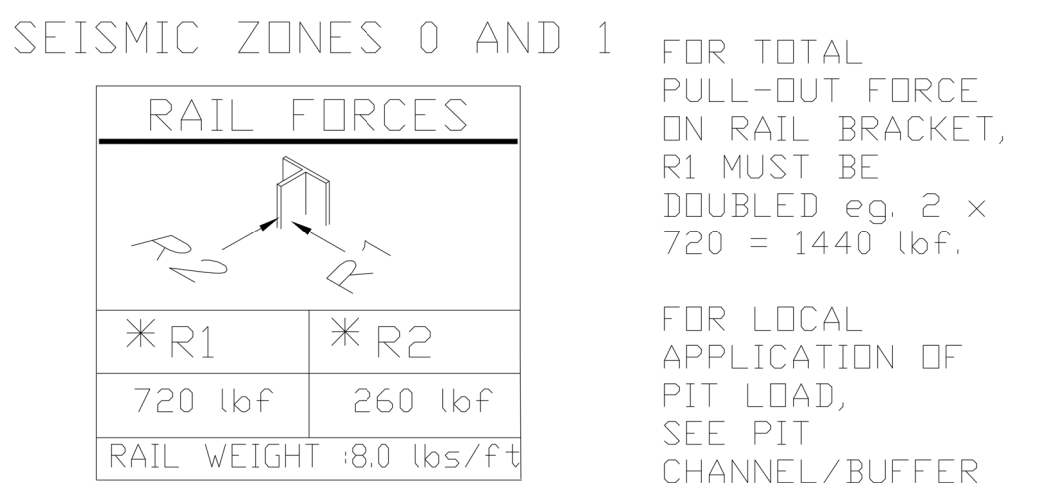
MAX. SPEED (ft/min)	PIT	TOTAL TRAVEL	OVERHEAD	
			NEW BLDG	EXISTING BLDG
30	14" ***		134"(3404)	108"(2743)

*** NOTE: Additional pit equipment required when over 36" deep, consult your local dealer for details

NOTE A
 WHERE SMOKE DETECTORS ARE REQUIRED, WIRING FROM A NORMALLY CLOSED CONTACT AT BOTH THE DESIGNATED RETURN LANDING, SMOKE DETECTORS AND ALTERNATE RETURN LANDING SMOKE DETECTOR SHALL BE PROVIDED TO THE CONTROLLER. A NORMALLY CLOSED CONTACT REPRESENTING ALL OTHER SMOKE DETECTORS MUST BE PROVIDED TO THE CONTROLLER.

NOTE B
 ALL INFORMATION IS SUBJECT TO CHANGE. PLEASE REFERENCE OUR ON-LINE DRAWINGS AT www.concordelevator.com FOR THE MOST RECENT UPDATES

CAB WIDTH	DIST (D)	PIT PRE-ACTION FORCE
42"	31.625"	R3 = 8000 LBS
48"	31.625"	R4 = 3000 LBS
51"	31.625"	R5 = 9000 LBS
54"	31.625"	



WARNING:
 FORCES ONLY APPLICABLE FOR SEISMIC ZONES 0 AND 1. FOR SEISMIC ZONES OTHER THAN 0 OR 1, PLEASE CONSULT WITH MANUFACTURER FOR REGIONAL SPECIFIC REQUIREMENTS.



LU/LA
 ORION17 MODEL 4854 (1L)

(Not to Scale)

Pendium Group, LLC
 4265 Duck Club Rd., Ravenel, SC 29470
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STATE OF SOUTH CAROLINA
 Registered Architects
Pendium Group LLC
 Ravenel, SC
 No. 101636

STATE OF SOUTH CAROLINA
 Registered Architect
Amhad M. Al-Shemri
 Ravenel, SC
 No. 10394

Executive Offices
 208 North Cedar
 Summerville, SC 29483

Label	Date	Description	Revision Table	Reviewed By
5-11	8/20/2022	Revised by Summerville B. Dept.		JFB

Elevator

DATE:
4/25/22

SHEET:
A11