

4/25/2022 4:12:06 PM



Ravenel Welch Residence

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CONSULTANT:

Ravenel Welch Residence
100 FARMFIELD AVENUE

SOUTH CAROLINA SEAL
RESP. ACT. 10/14/16
**NOT FOR
CONSTRUCTION**

DATE:

ISSUE: <<<<<<

DRAWN BY: KPS
CHECKED BY: ML

PHASE DD
PR NO 21357

AO

ABBREVIATIONS:

Table of abbreviations for construction materials and components, including terms like ABOVE FINISHED FLOOR, GALV, GAGE, GAUGE, and various electrical and plumbing symbols.

GENERAL NOTES:

- 1. IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY...
2. WHEN WORK IS NOT SPECIFICALLY NOTED BUT IS REQUIRED TO COMPLETE THE PROJECT...
3. THE DOCUMENTS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED...

TERMITE PROTECTION:

- 1. TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD...
2. ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED...

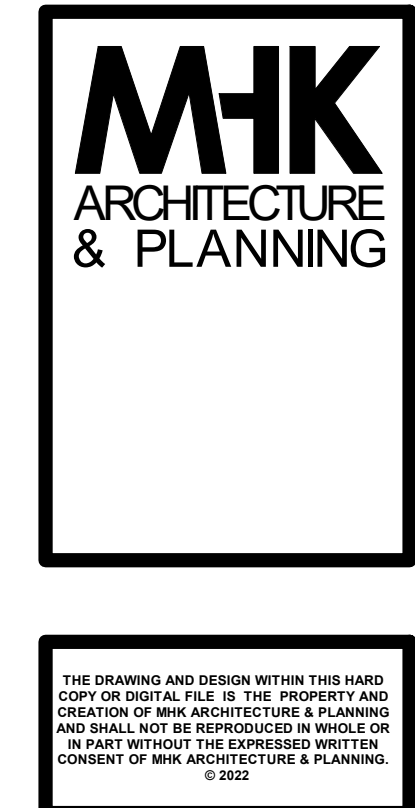
SQUARE FOOTAGES table showing MAIN HOUSE (HEATED) with 2006 SQFT, GUEST HOUSE (HEATED) with 191 SQFT, and COVERED/UNHEATED areas including RAISED CRAWL SPACE (1736 SQFT) and DETACHED GARAGE (576 SQFT).

2018 SC RESIDENTIAL CODE

OCCUPANCY: R-3 SINGLE FAMILY
CITY OF CHARLESTON APPLICABLE CODES
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2011 NATIONAL ELECTRICAL CODE (NFPA 70)
2018 SOUTH CAROLINA BUILDING CODE
2018 SOUTH CAROLINA EXISTING BUILDING CODE
2018 SOUTH CAROLINA FUEL GAS CODE
2018 SOUTH CAROLINA FIRE CODE
2018 SOUTH CAROLINA MECHANICAL CODE
2018 SOUTH CAROLINA PLUMBING CODE
2018 SOUTH CAROLINA RESIDENTIAL CODE
2018 SWIMMING POOL AND SPA CODE
2011 ICC A111 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (EFFECTIVE JUNE 1, 2011)

DRAWING INDEX:

- ARCHITECTURE
A0 COVER SHEET
A0.1 PROJECT INFORMATION
A1.0 SITE PLAN
A1.1 ENLARGED SITE PLAN
A2.0 RAISED CRAWL SPACE
A2.1 MAIN LEVEL
A2.2 UPPER LEVEL
A2.3 ATTIC LEVEL
A2.4 DETACHED GARAGE
A3.0 ROOF PLAN
A4.0 RAISED CRAWL SPACE RCP
A4.1 MAIN LEVEL RCP
A4.2 UPPER LEVEL RCP
A4.3 ATTIC LEVEL RCP
A4.4 DETACHED GARAGE RCP
A5.0 EXTERIOR ELEVATIONS
A5.1 EXTERIOR ELEVATIONS - DETACHED GARAGE
A6.0 BUILDING SECTIONS
A6.1 BUILDING SECTIONS - DETACHED GARAGE
A6.3 WALL SECTIONS

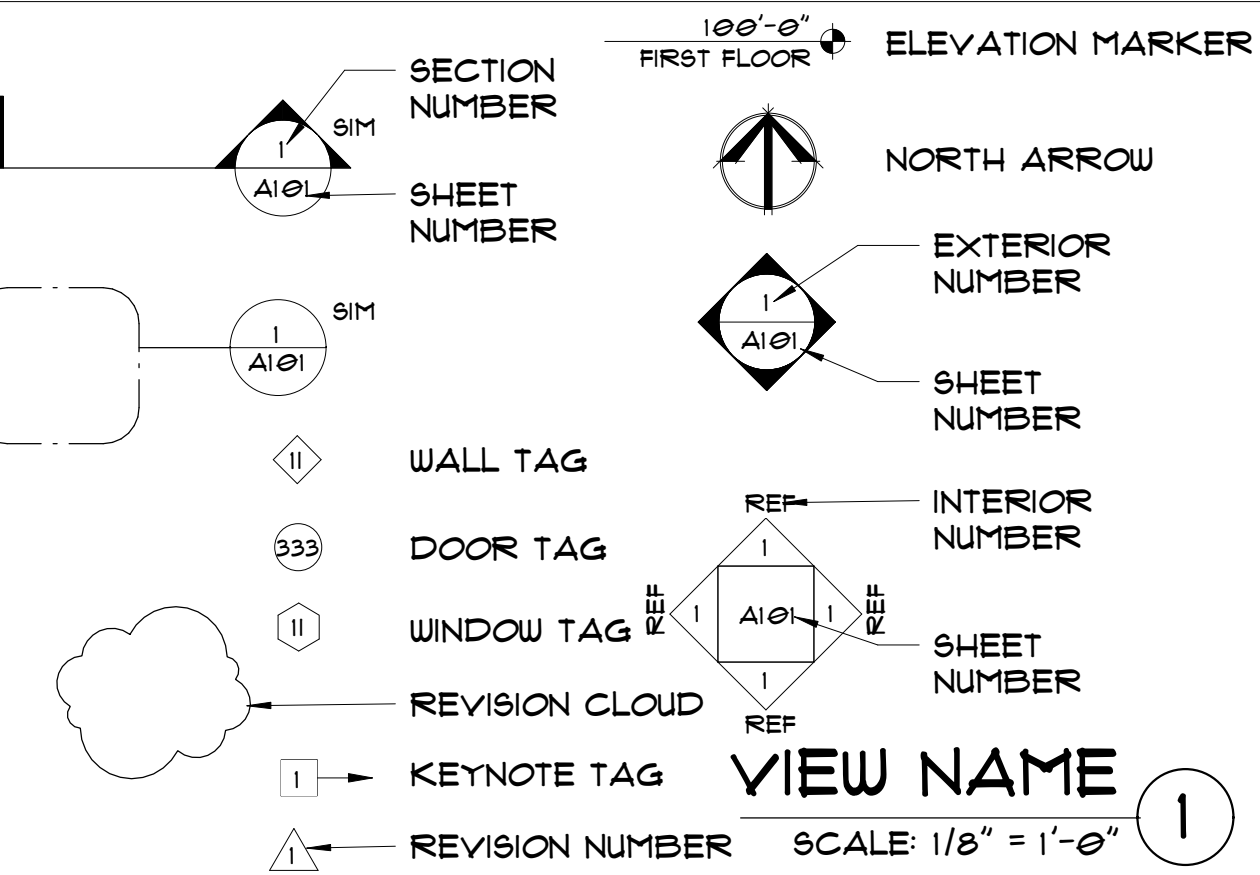


CONSULTANT:
Ravenel Welch Residence
100 FARMFIELD AVENUE

PROJECT DESIGN TEAM:
OWNER: RUTHIE RAVENEL & CHRIS WELCH
ARCHITECT: MHK ARCHITECTURE & PLANNING
STRUCTURAL ENGINEER: RESIDENTIAL STRUCTURES, P.C.

NOT FOR CONSTRUCTION

STANDARD SYMBOLS:



MATERIAL LEGEND:

Table mapping patterns to materials: BRICK, STEEL, RIGID INSULATION, EARTH, UNDISTURBED EARTH, GRAVEL, STRUCTURAL CONCRETE, CERAMIC TILE, ALUMINUM, PLYWOOD, SHINGLES, SIDING, GYP. BD., LUMBER, BLOCKING, FINISH WOOD, GLASS, CMU.

PROJECT LOCATION MAP:

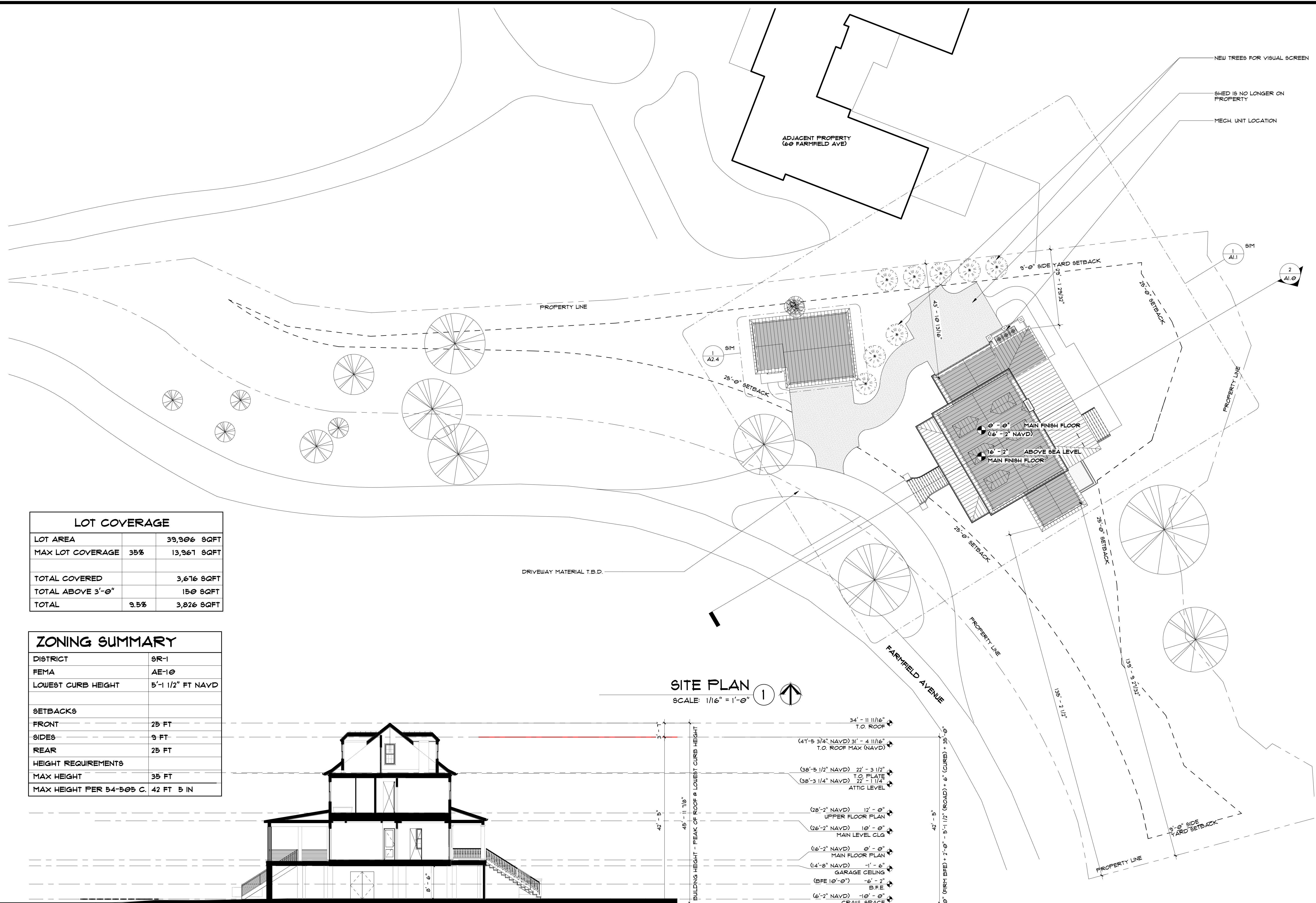


PROJECT SUMMARY:

THIS IS A PERMIT APPLICATION FOR A SINGLE FAMILY RESIDENCE TO BE CONSTRUCTED ON AN EXISTING 1.04 ACRE SINGLE FAMILY LOT LOCATED AT 100 FARMFIELD AVENUE IN THE CITY OF CHARLESTON, SC. THE LOT IS VACANT AND ALL SITE UTILITIES ARE EXISTING. THE PROJECT INCLUDES AN APPROXIMATELY 3,930 SQUARE FOOT HEATED NEW SINGLE FAMILY RESIDENCE THAT CONFORMS TO THE SR-1 ZONING DISTRICT, AS WELL AS POOL AND HARDSCAPE AREAS...

DATE OF ISSUANCE: 04/28/2022

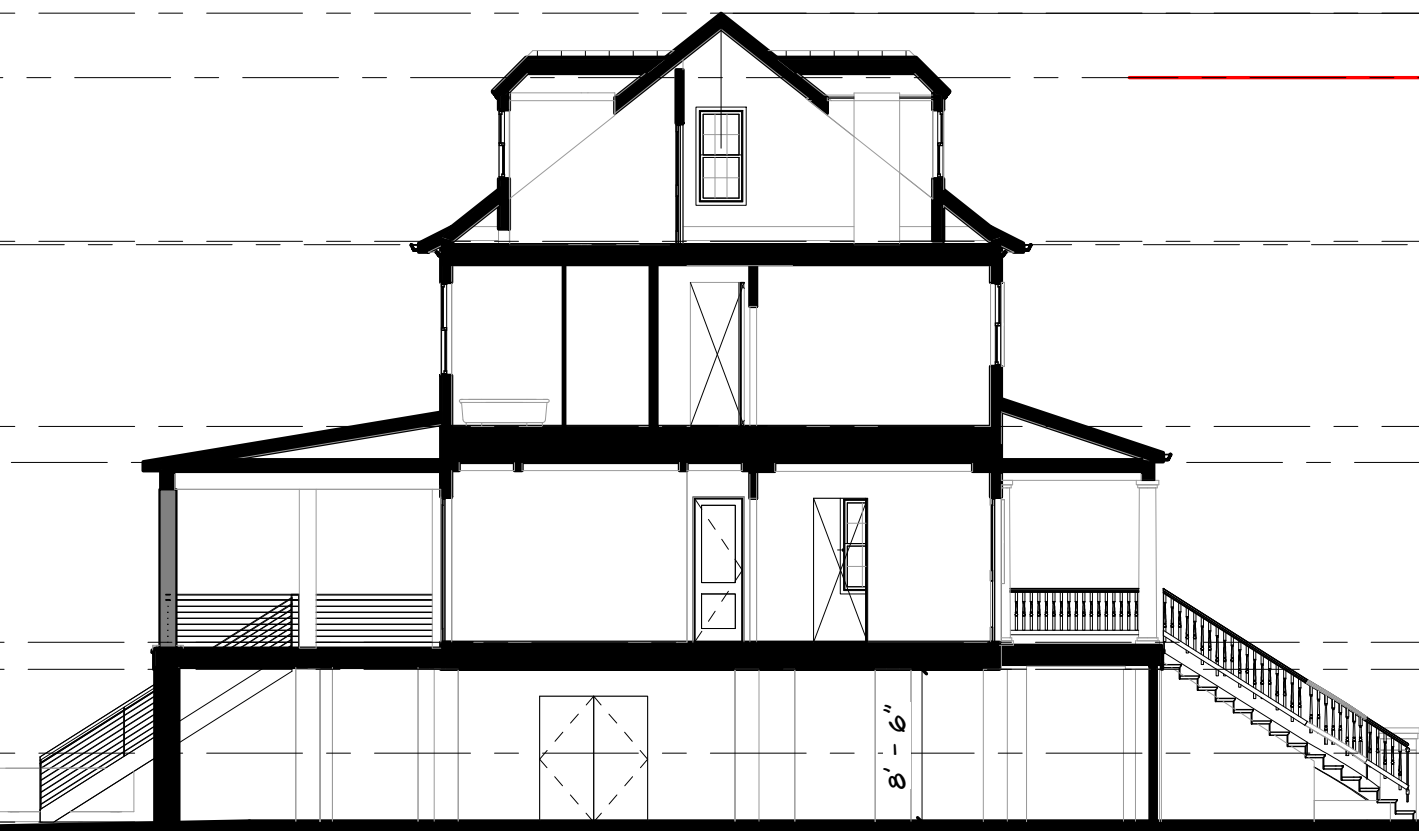
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A0.1



| LOT COVERAGE | | |
|-------------------|------|-------------|
| LOT AREA | | 39,906 SQFT |
| MAX LOT COVERAGE | 35% | 13,967 SQFT |
| TOTAL COVERED | | 3,676 SQFT |
| TOTAL ABOVE 3'-0" | | 150 SQFT |
| TOTAL | 9.5% | 3,826 SQFT |

| ZONING SUMMARY | |
|--------------------------|-------------------|
| DISTRICT | SR-1 |
| FEMA | AE-10 |
| LOWEST CURB HEIGHT | 5'-1 1/2" FT NAVD |
| SETBACKS | |
| FRONT | 25 FT |
| SIDES | 3 FT |
| REAR | 25 FT |
| HEIGHT REQUIREMENTS | |
| MAX HEIGHT | 35 FT |
| MAX HEIGHT PER 54-505 C. | 42 FT 5 IN |

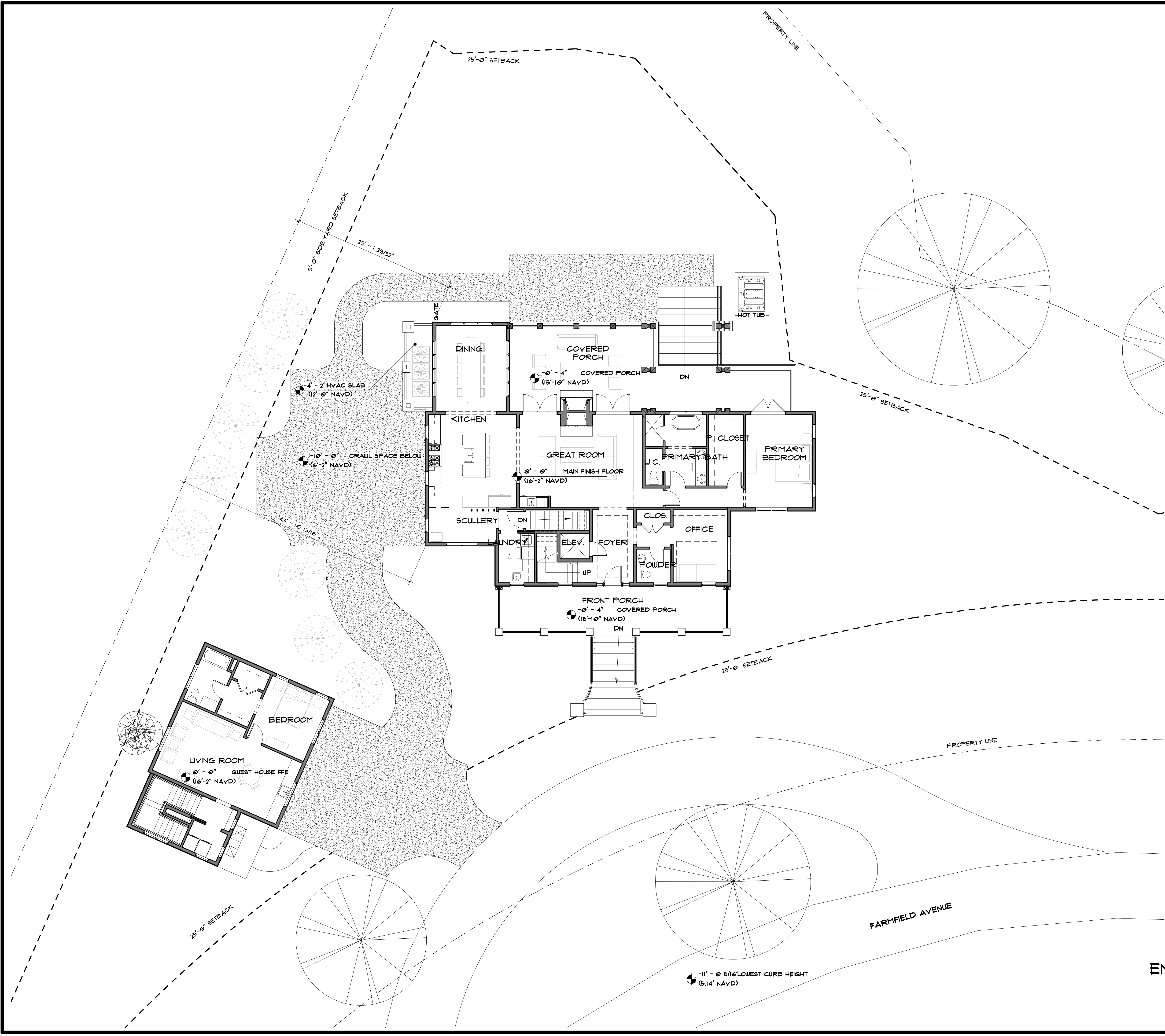
SITE PLAN
SCALE: 1/16" = 1'-0"



SITE SECTION
SCALE: 3/32" = 1'-0"

- 24' - 11 11/16" T.O. ROOF
- (47'-5 3/4" NAVD) 31' - 4 11/16" T.O. ROOF MAX (NAVD)
- (38'-5 1/2" NAVD) 22' - 3 1/2" T.O. PLATE
- (38'-3 1/4" NAVD) 22' - 1 1/4" ATTIC LEVEL
- (28'-2" NAVD) 12' - 0" UPPER FLOOR PLAN
- (26'-2" NAVD) 10' - 0" MAIN LEVEL CLG
- (16'-2" NAVD) 0' - 0" MAIN FLOOR PLAN
- (14'-8" NAVD) -1' - 6" GARAGE CEILING
- (0FE 10'-0") -6' - 2" B.F.E
- (6'-2" NAVD) -10' - 0" CRAWL SPACE
- (5.14' NAVD) 11' - 0 5/16" LOWEST CURB HEIGHT
- (0'-0" NAVD) -16' - 2" SEA LEVEL

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| ZONING SUMMARY | |
|--------------------------|-------------------|
| DISTRICT | SR-1 |
| FEMA | AE-10 |
| LOWEST CURB HEIGHT | 5'-1 1/2" FT NAVD |
| SETBACKS | |
| FRONT | 25 FT |
| SIDES | 9 FT |
| REAR | 25 FT |
| HEIGHT REQUIREMENTS | |
| MAX HEIGHT | 35 FT |
| MAX HEIGHT PER 54-505 C. | 42 FT 5 IN |

| LOT COVERAGE | | |
|-------------------|------|-------------|
| LOT AREA | | 39,906 SQFT |
| MAX LOT COVERAGE | 35% | 13,967 SQFT |
| TOTAL COVERED | | 3,616 SQFT |
| TOTAL ABOVE 3'-0" | | 150 SQFT |
| TOTAL | 9.5% | 3,826 SQFT |

| SQUARE FOOTAGES | |
|----------------------------|-----------|
| MAIN HOUSE (HEATED) | |
| MAIN LEVEL | 2006 SQFT |
| UPPER LEVEL | 1187 SQFT |
| TOTAL HEATED (HOUSE) | 3193 SQFT |
| GUEST HOUSE (HEATED) | |
| MAIN LEVEL ENTRY | 191 SQFT |
| M.I.L SUITE | 703 SQFT |
| TOTAL HEATED (GUEST HOUSE) | 894 SQFT |
| COVERED/UNHEATED | |
| RAISED CRAWL SPACE | 1736 SQFT |
| DETACHED GARAGE | 576 SQFT |
| OUTDOOR LIVING | 529 SQFT |
| ENTRY/PORCH | 365 SQFT |
| TOTAL | 3206 SQFT |
| TOTAL ROOFED AREA | 7293 SQFT |

SITE ELEVATION INFORMATION

FEMA ZONE: AE 10 NAVD
 LOWEST CURB HEIGHT: 5'-1 1/2"
 MIN. FEMA ELEVATION: 12'-0" NAVD

MAIN LIVING F.F.E.: 16'-2" NAVD
 OUTDOOR LIVING F.F.E.: 15'-10" NAVD
 GARAGE F.F.E.: 6'-2" NAVD

GARAGE FLOOD VENT CALCULATION:
 PER FEMA TB 1-93 SHALL NOT BE LESS THAN 1 SQ INCH PER SQ FOOT OF ENCLOSED AREA SUBJECT TO FLOODING

2 CAR GARAGE: 1722 SF
 1722 SQ IN NET OPENING REQUIRED
 REQUIRED: X FLOOD VENT UNITS (SMART VENT 1540-520 OR SIMILAR)

PROVIDED X SMART VENT UNITS IN TOTAL
 - X UNITS ON EAST GARAGE WALL
 - X UNITS ON WEST GARAGE WALL

MHK
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 & PLANNING

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 WWW.MHKAP.COM

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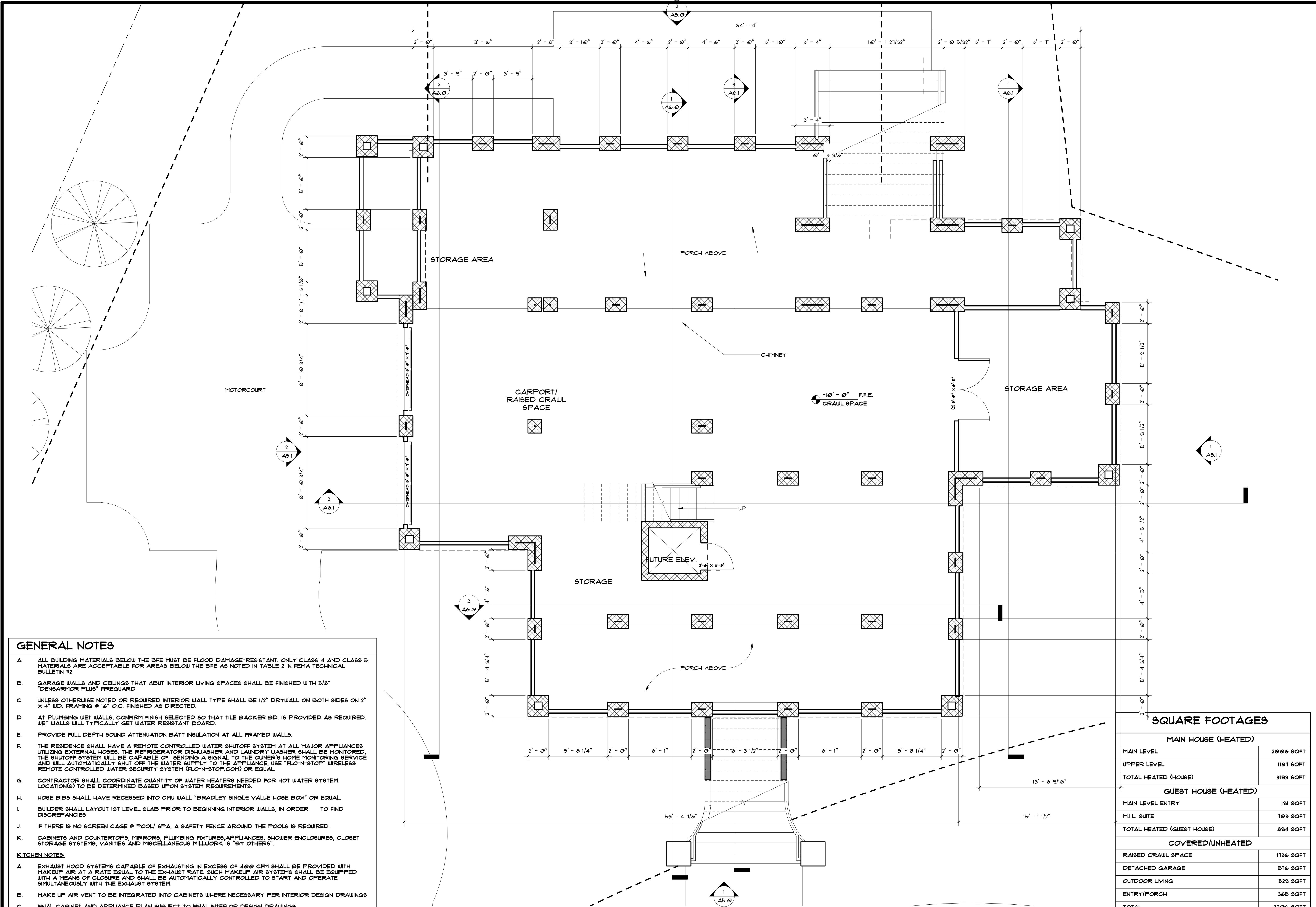
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ENLARGED SITE PLAN 1
 SCALE: 1/8" = 1'-0"

A1.1



GENERAL NOTES

- ALL BUILDING MATERIALS BELOW THE BFE MUST BE FLOOD DAMAGE-RESISTANT. ONLY CLASS 4 AND CLASS 5 MATERIALS ARE ACCEPTABLE FOR AREAS BELOW THE BFE AS NOTED IN TABLE 2 IN FEMA TECHNICAL BULLETIN #2.
- GARAGE WALLS AND CEILINGS THAT ADJUT INTERIOR LIVING SPACES SHALL BE FINISHED WITH 5/8" "DENSARMOR PLUS" FIREGUARD.
- UNLESS OTHERWISE NOTED OR REQUIRED INTERIOR WALL TYPE SHALL BE 1/2" DRYWALL ON BOTH SIDES ON 2" X 4" WD. FRAMING @ 16" O.C. FINISHED AS DIRECTED.
- AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. IS PROVIDED AS REQUIRED. WET WALLS WILL TYPICALLY GET WATER RESISTANT BOARD.
- PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT ALL FRAMED WALLS.
- THE RESIDENCE SHALL HAVE A REMOTE CONTROLLED WATER SHUTOFF SYSTEM AT ALL MAJOR APPLIANCES UTILIZING EXTERNAL HOSES. THE REFRIGERATOR DISHWASHER AND LAUNDRY WASHER SHALL BE MONITORED. THE SHUTOFF SYSTEM WILL BE CAPABLE OF SENDING A SIGNAL TO THE OWNER'S HOME MONITORING SERVICE AND WILL AUTOMATICALLY SHUT OFF THE WATER SUPPLY TO THE APPLIANCE, USE "FLO-N-STOP" WIRELESS REMOTE CONTROLLED WATER SECURITY SYSTEM (FLO-N-STOP.COM) OR EQUAL.
- CONTRACTOR SHALL COORDINATE QUANTITY OF WATER HEATERS NEEDED FOR HOT WATER SYSTEM. LOCATION(S) TO BE DETERMINED BASED UPON SYSTEM REQUIREMENTS.
- HOSE BIBS SHALL HAVE RECESSED INTO CMU WALL "BRADLEY SINGLE VALVE HOSE BOX" OR EQUAL.
- BUILDER SHALL LAYOUT 1ST LEVEL SLAB PRIOR TO BEGINNING INTERIOR WALLS, IN ORDER TO FIND DISCREPANCIES.
- IF THERE IS NO SCREEN CAGE @ POOL SPA, A SAFETY FENCE AROUND THE POOLS IS REQUIRED.
- CABINETS AND COUNTERTOPS, MIRRORS, PLUMBING FIXTURES, APPLIANCES, SHOWER ENCLOSURES, CLOSET STORAGE SYSTEMS, VANITIES AND MISCELLANEOUS MILLWORK IS "BY OTHERS".

KITCHEN NOTES:

- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
- MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS.
- FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS.

SQUARE FOOTAGES

| MAIN HOUSE (HEATED) | |
|----------------------------|-----------|
| MAIN LEVEL | 2006 SQFT |
| UPPER LEVEL | 1181 SQFT |
| TOTAL HEATED (HOUSE) | 3183 SQFT |
| GUEST HOUSE (HEATED) | |
| MAIN LEVEL ENTRY | 191 SQFT |
| M.I.L SUITE | 103 SQFT |
| TOTAL HEATED (GUEST HOUSE) | 294 SQFT |
| COVERED/UNHEATED | |
| RAISED CRAWL SPACE | 1136 SQFT |
| DETACHED GARAGE | 516 SQFT |
| OUTDOOR LIVING | 529 SQFT |
| ENTRY/PORCH | 365 SQFT |
| TOTAL | 3206 SQFT |
| TOTAL ROOFED AREA | 1293 SQFT |

RAISED CRAWL SPACE
SCALE: 1/4" = 1'-0"

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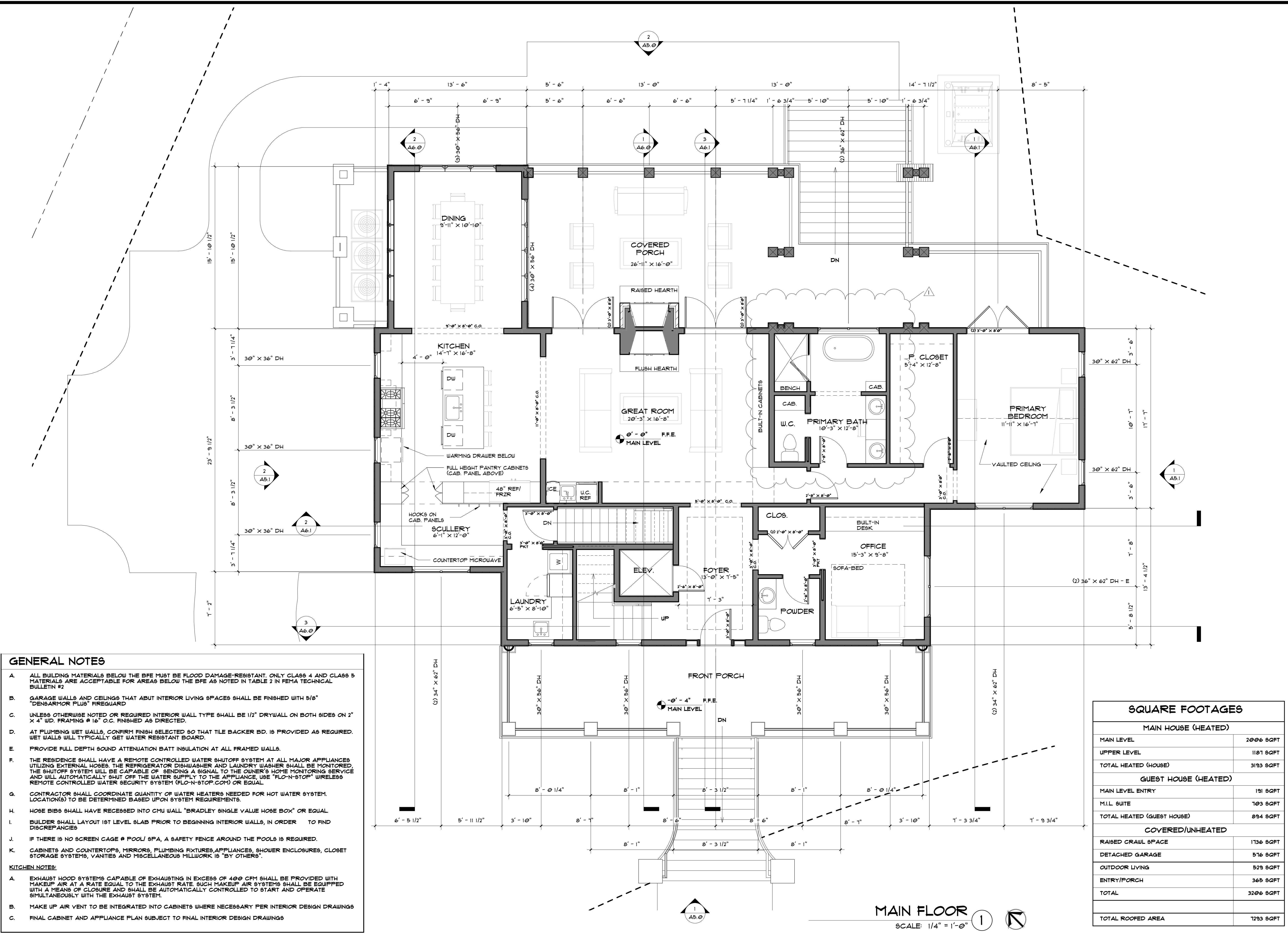
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UPDATES PER FLOORING MTG 03/25/2022

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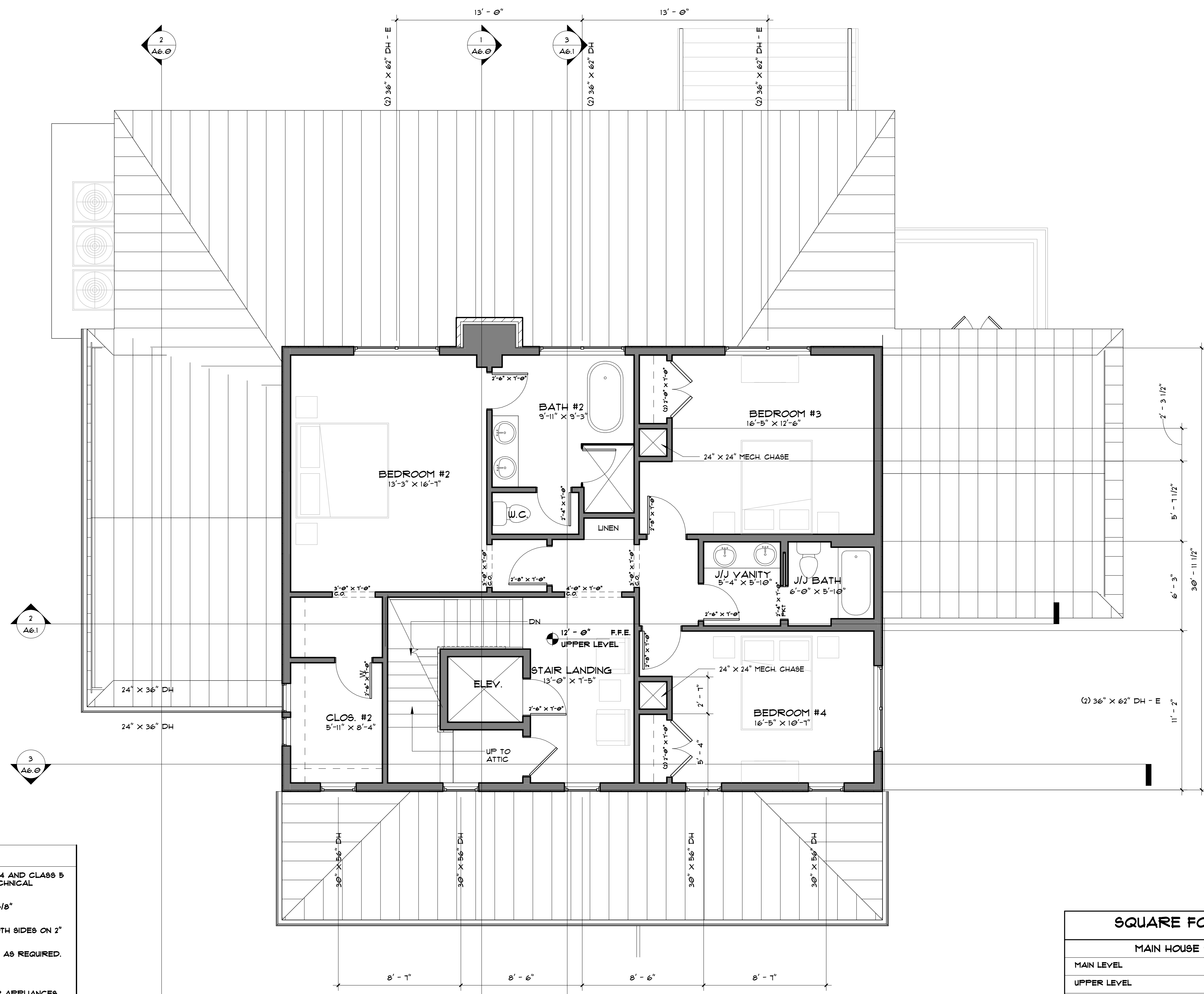
A2.1



- GENERAL NOTES**
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 - GARAGE WALLS AND CEILING THAT ABUT INTERIOR LIVING SPACES SHALL BE FINISHED WITH 5/8" "DENSARMOR PLUS" FIREGUARD
 - UNLESS OTHERWISE NOTED OR REQUIRED INTERIOR WALL TYPE SHALL BE 1/2" DRYWALL ON BOTH SIDES ON 2" X 4" WD. FRAMING @ 16" O.C. FINISHED AS DIRECTED.
 - AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. IS PROVIDED AS REQUIRED. WET WALLS WILL TYPICALLY GET WATER RESISTANT BOARD.
 - PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT ALL FRAMED WALLS.
 - THE RESIDENCE SHALL HAVE A REMOTE CONTROLLED WATER SHUTOFF SYSTEM AT ALL MAJOR APPLIANCES UTILIZING EXTERNAL HOSES. THE REFRIGERATOR DISHWASHER AND LAUNDRY WASHER SHALL BE MONITORED. THE SHUTOFF SYSTEM WILL BE CAPABLE OF SENDING A SIGNAL TO THE OWNER'S HOME MONITORING SERVICE AND WILL AUTOMATICALLY SHUT OFF THE WATER SUPPLY TO THE APPLIANCE, USE "FLO-N-STOP" WIRELESS REMOTE CONTROLLED WATER SECURITY SYSTEM (FLO-N-STOP.COM) OR EQUAL.
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 - HOSE BIBS SHALL HAVE RECESSED INTO CMU WALL "BRADLEY SINGLE VALVE HOSE BOX" OR EQUAL.
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- KITCHEN NOTES:**
- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
 - MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS
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| SQUARE FOOTAGES | |
|-----------------------------|-----------|
| MAIN HOUSE (HEATED) | |
| MAIN LEVEL | 2006 SQFT |
| UPPER LEVEL | 1181 SQFT |
| TOTAL HEATED (HOUSE) | 3193 SQFT |
| GUEST HOUSE (HEATED) | |
| MAIN LEVEL ENTRY | 191 SQFT |
| M.I.L. SUITE | 103 SQFT |
| TOTAL HEATED (GUEST HOUSE) | 894 SQFT |
| COVERED/UNHEATED | |
| RAISED CRAWL SPACE | 1736 SQFT |
| DETACHED GARAGE | 516 SQFT |
| OUTDOOR LIVING | 523 SQFT |
| ENTRY/PORCH | 365 SQFT |
| TOTAL | 3206 SQFT |
| TOTAL ROOFED AREA | 1293 SQFT |

MAIN FLOOR
SCALE: 1/4" = 1'-0"



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| SQUARE FOOTAGES | |
|----------------------------|-----------|
| MAIN HOUSE (HEATED) | |
| MAIN LEVEL | 2006 SQFT |
| UPPER LEVEL | 1181 SQFT |
| TOTAL HEATED (HOUSE) | 3187 SQFT |
| GUEST HOUSE (HEATED) | |
| MAIN LEVEL ENTRY | 191 SQFT |
| M.I.L SUITE | 703 SQFT |
| TOTAL HEATED (GUEST HOUSE) | 894 SQFT |
| COVERED/UNHEATED | |
| RAISED CRAWL SPACE | 1736 SQFT |
| DETACHED GARAGE | 576 SQFT |
| OUTDOOR LIVING | 523 SQFT |
| ENTRY/PORCH | 365 SQFT |
| TOTAL | 3206 SQFT |
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UPPER FLOOR
SCALE: 1/4" = 1'-0"

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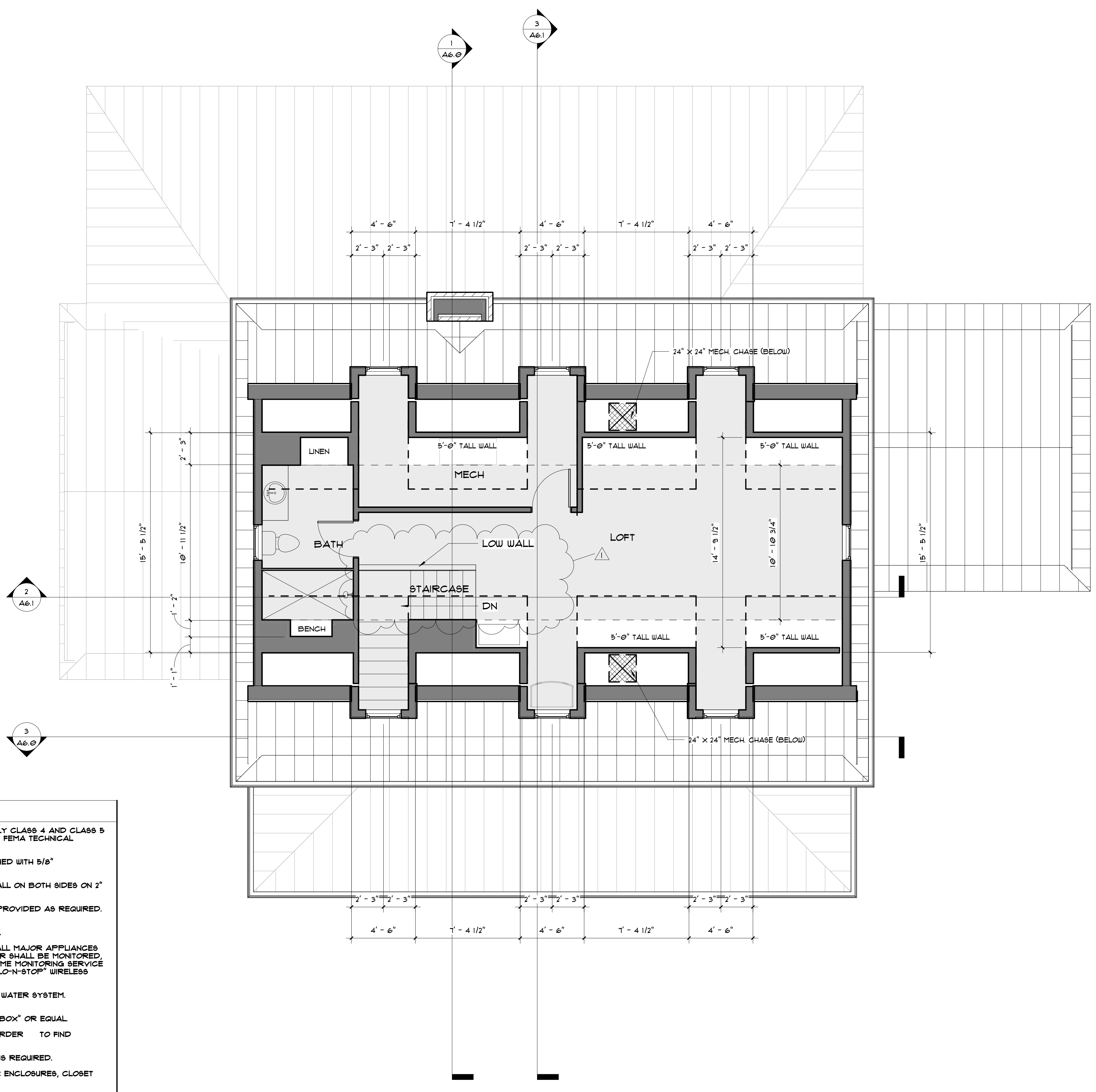
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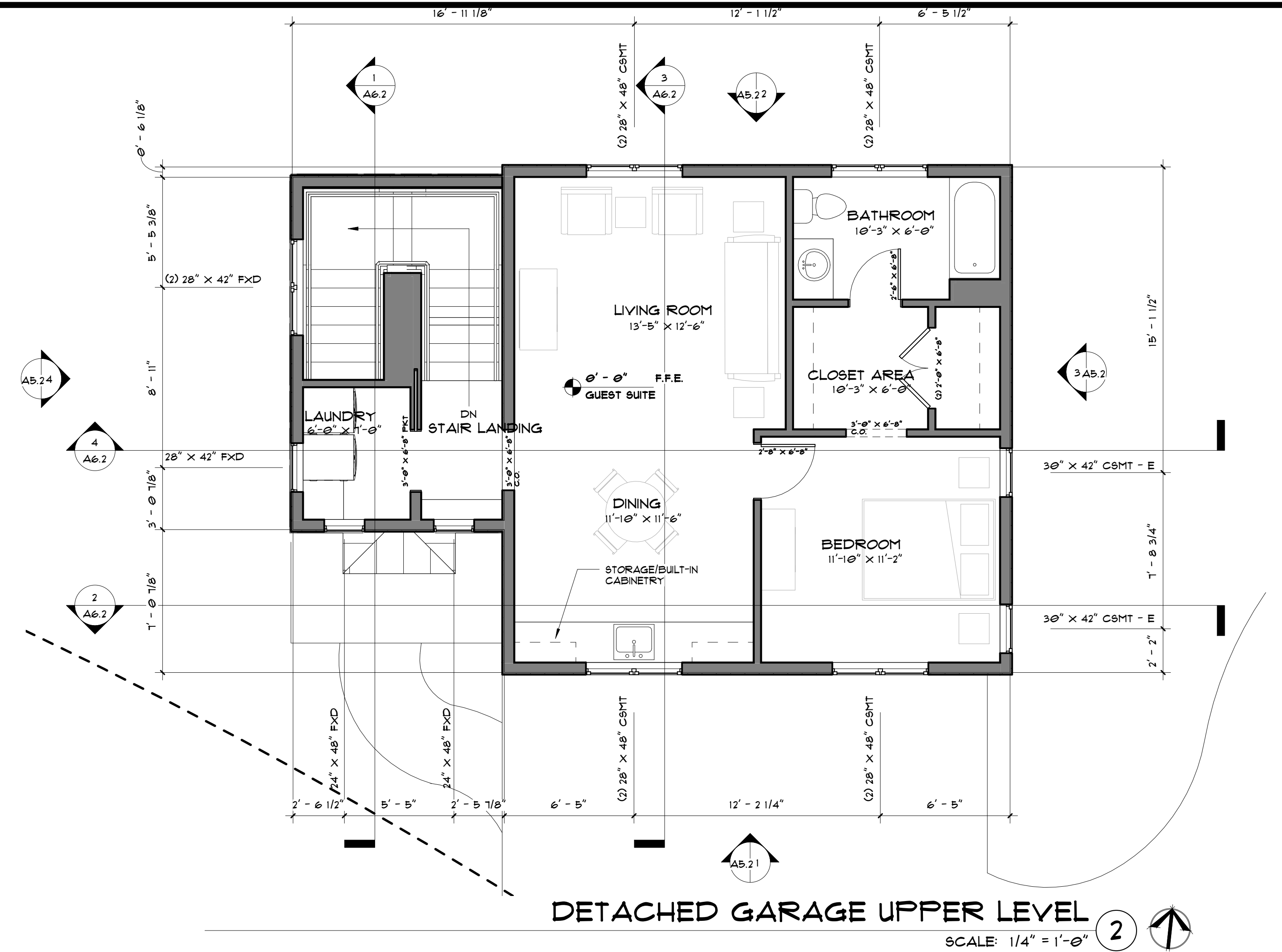
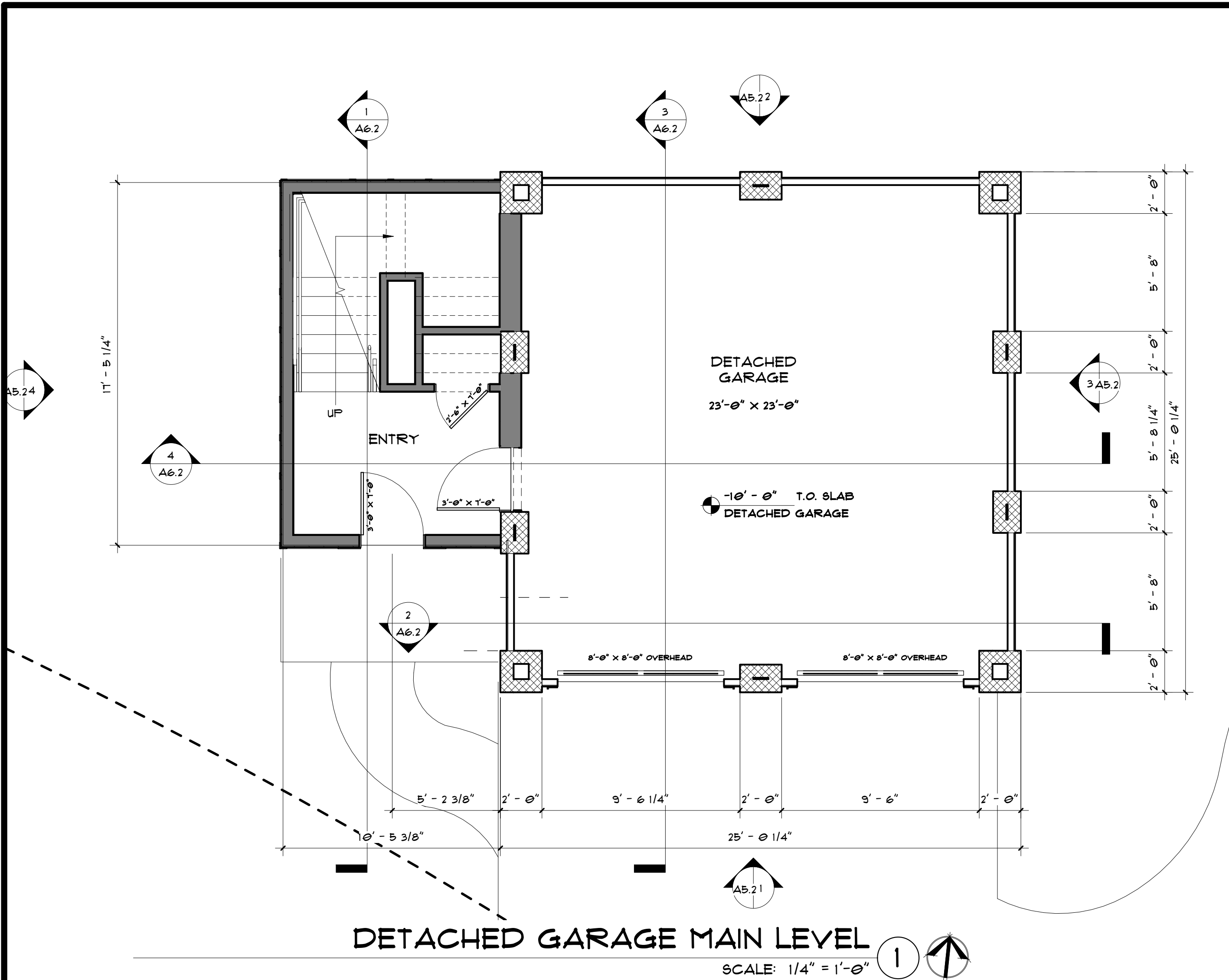


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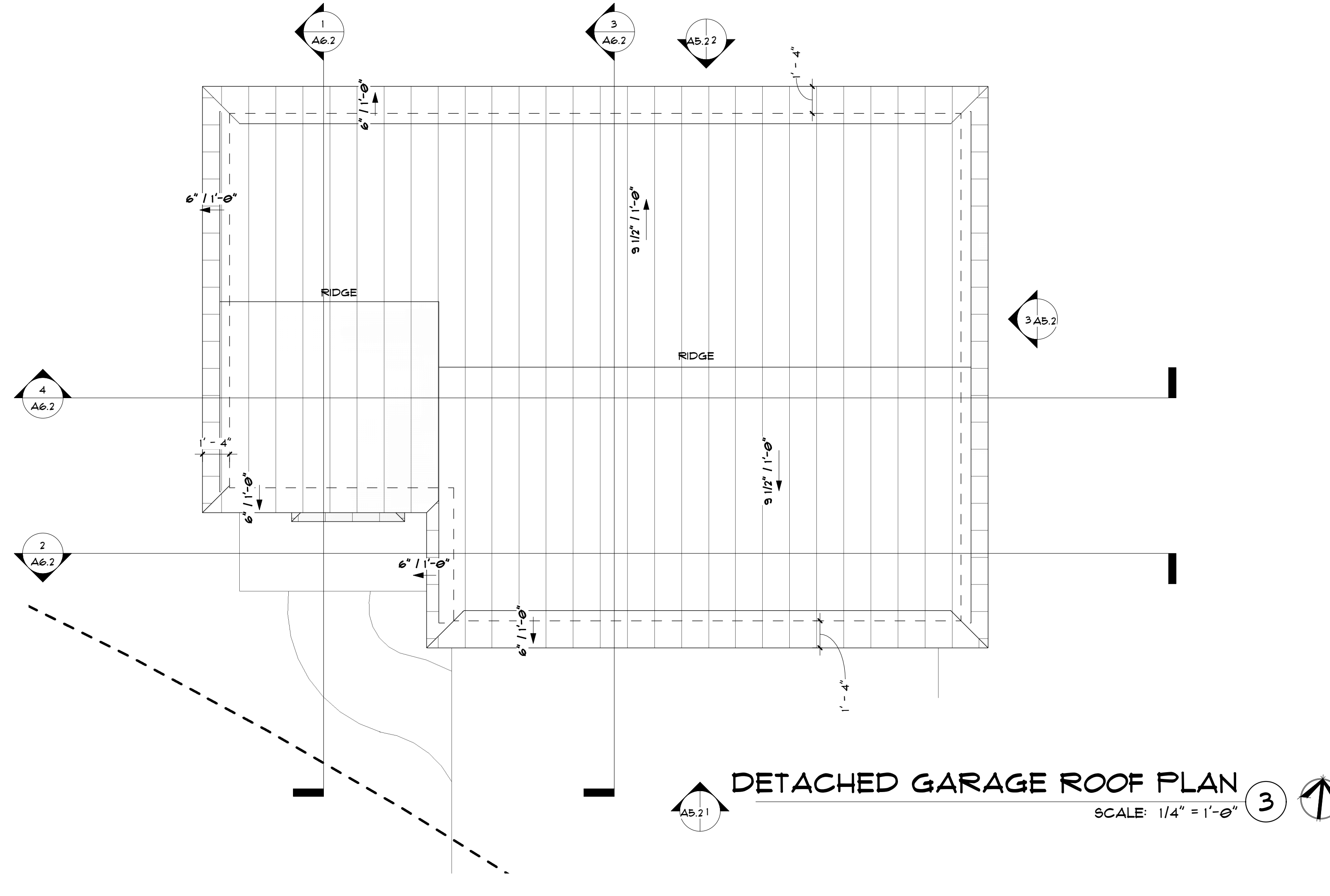
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 - D. AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. IS PROVIDED AS REQUIRED. WET WALLS WILL TYPICALLY GET WATER RESISTANT BOARD.
 - E. PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT ALL FRAMED WALLS.
 - F. THE RESIDENCE SHALL HAVE A REMOTE CONTROLLED WATER SHUTOFF SYSTEM AT ALL MAJOR APPLIANCES UTILIZING EXTERNAL HOSES. THE REFRIGERATOR DISHWASHER AND LAUNDRY WASHER SHALL BE MONITORED. THE SHUTOFF SYSTEM WILL BE CAPABLE OF SENDING A SIGNAL TO THE OWNER'S HOME MONITORING SERVICE AND WILL AUTOMATICALLY SHUT OFF THE WATER SUPPLY TO THE APPLIANCE, USE "FLO-N-STOP" WIRELESS REMOTE CONTROLLED WATER SECURITY SYSTEM (FLO-N-STOP.COM) OR EQUAL.
 - G. CONTRACTOR SHALL COORDINATE QUANTITY OF WATER HEATERS NEEDED FOR HOT WATER SYSTEM. LOCATION(S) TO BE DETERMINED BASED UPON SYSTEM REQUIREMENTS.
 - H. HOSE BIBS SHALL HAVE RECESSED INTO CMU WALL "BRADLEY SINGLE VALVE HOSE BOX" OR EQUAL.
 - I. BUILDER SHALL LAYOUT 1ST LEVEL SLAB PRIOR TO BEGINNING INTERIOR WALLS, IN ORDER TO FIND DISCREPANCIES.
 - J. IF THERE IS NO SCREEN CAGE @ POOL/SPA, A SAFETY FENCE AROUND THE POOLS IS REQUIRED.
 - K. CABINETS AND COUNTERTOPS, MIRRORS, PLUMBING FIXTURES, APPLIANCES, SHOWER ENCLOSURES, CLOSET STORAGE SYSTEMS, VANITIES AND MISCELLANEOUS MILLWORK IS "BY OTHERS".
- KITCHEN NOTES:**
- A. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
 - B. MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS
 - C. FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS

| SQUARE FOOTAGES | |
|-----------------------------|-----------|
| MAIN HOUSE (HEATED) | |
| MAIN LEVEL ENTRY | 2006 SQFT |
| UPPER LEVEL | 1181 SQFT |
| TOTAL HEATED (HOUSE) | 3193 SQFT |
| GUEST HOUSE (HEATED) | |
| MAIN LEVEL ENTRY | 191 SQFT |
| M.I.L. SUITE | 703 SQFT |
| TOTAL HEATED (GUEST HOUSE) | 894 SQFT |
| COVERED/UNHEATED | |
| RAISED CRAWL SPACE | 1736 SQFT |
| DETACHED GARAGE | 516 SQFT |
| OUTDOOR LIVING | 523 SQFT |
| ENTRY/PORCH | 365 SQFT |
| TOTAL | 3206 SQFT |
| TOTAL ROOFED AREA | 1293 SQFT |

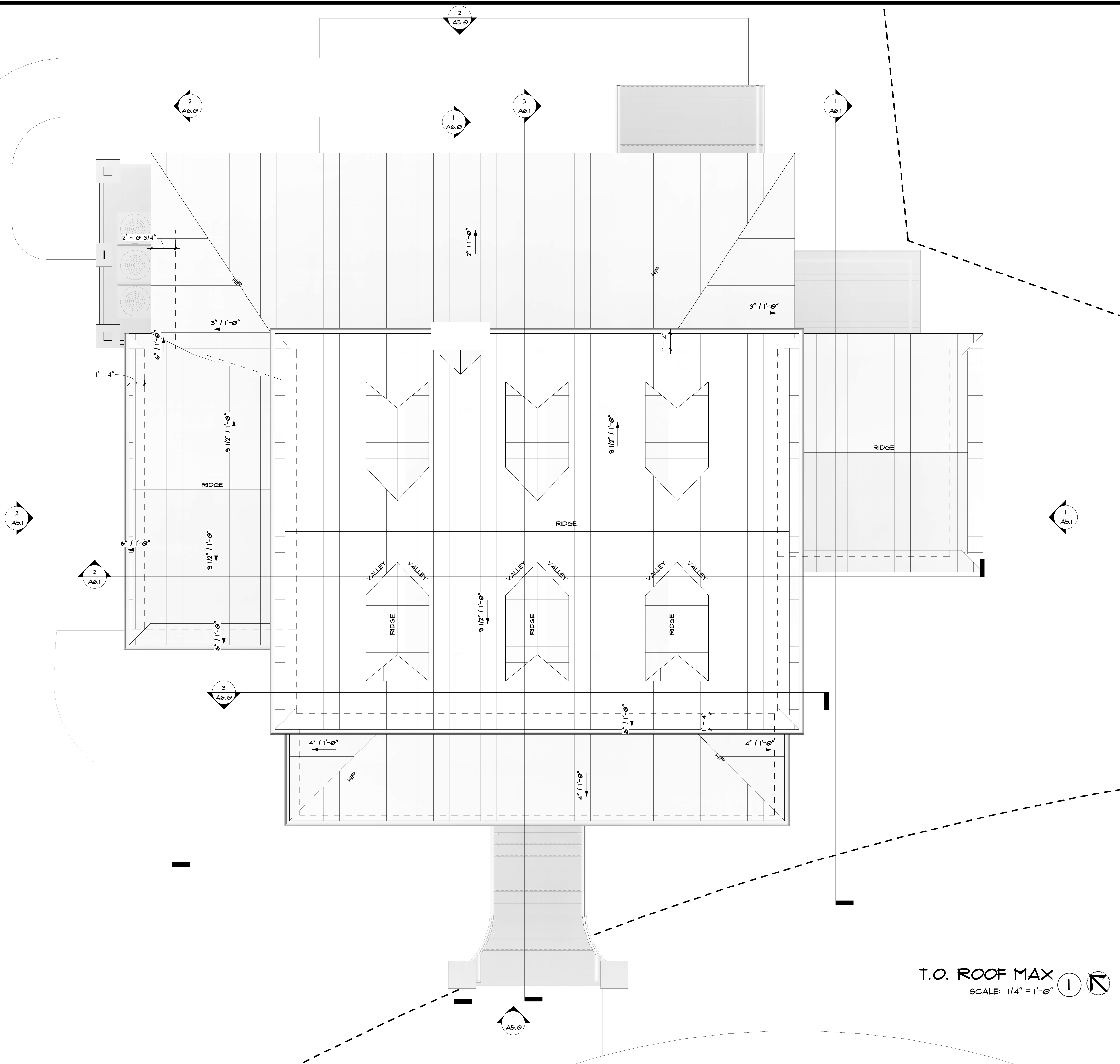
ATTIC LEVEL 1
SCALE: 1/4" = 1'-0"



- GENERAL NOTES**
- ALL BUILDING MATERIALS BELOW THE BFE MUST BE FLOOD DAMAGE-RESISTANT. ONLY CLASS 4 AND CLASS 5 MATERIALS ARE ACCEPTABLE FOR AREAS BELOW THE BFE AS NOTED IN TABLE 2 IN FEMA TECHNICAL BULLETIN #2
 - GARAGE WALLS AND CEILING THAT ABUT INTERIOR LIVING SPACES SHALL BE FINISHED WITH 5/8" "DENSARMOR PLUS" FIREGUARD
 - UNLESS OTHERWISE NOTED OR REQUIRED INTERIOR WALL TYPE SHALL BE 1/2" DRYWALL ON BOTH SIDES ON 2" X 4" WD. FRAMING @ 16" O.C. FINISHED AS DIRECTED.
 - AT PLUMBING WET WALLS, CONFIRM FINISH SELECTED SO THAT TILE BACKER BD. IS PROVIDED AS REQUIRED. WET WALLS WILL TYPICALLY GET WATER RESISTANT BOARD.
 - PROVIDE FULL DEPTH SOUND ATTENUATION BATT INSULATION AT ALL FRAMED WALLS.
 - THE RESIDENCE SHALL HAVE A REMOTE CONTROLLED WATER SHUTOFF SYSTEM AT ALL MAJOR APPLIANCES UTILIZING EXTERNAL HOSES. THE REFRIGERATOR DISHWASHER AND LAUNDRY WASHER SHALL BE MONITORED. THE SHUTOFF SYSTEM WILL BE CAPABLE OF SENDING A SIGNAL TO THE OWNER'S HOME MONITORING SERVICE AND WILL AUTOMATICALLY SHUT OFF THE WATER SUPPLY TO THE APPLIANCE. USE "FLO-N-STOP" WIRELESS REMOTE CONTROLLED WATER SECURITY SYSTEM (FLO-N-STOP.COM) OR EQUAL.
 - CONTRACTOR SHALL COORDINATE QUANTITY OF WATER HEATERS NEEDED FOR HOT WATER SYSTEM. LOCATION(S) TO BE DETERMINED BASED UPON SYSTEM REQUIREMENTS.
 - HOSE BIBS SHALL HAVE RECESSED INTO CMU WALL "BRADLEY SINGLE VALVE HOSE BOX" OR EQUAL.
 - BUILDER SHALL LAYOUT 1ST LEVEL SLAB PRIOR TO BEGINNING INTERIOR WALLS, IN ORDER TO FIND DISCREPANCIES.
 - IF THERE IS NO SCREEN CAGE @ POOL/ SPA, A SAFETY FENCE AROUND THE POOLS IS REQUIRED.
 - CABINETS AND COUNTERTOPS, MIRRORS, PLUMBING FIXTURES, APPLIANCES, SHOWER ENCLOSURES, CLOSET STORAGE SYSTEMS, VANITIES AND MISCELLANEOUS MILLWORK IS "BY OTHERS".
- KITCHEN NOTES:**
- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE EQUAL TO THE EXHAUST RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
 - MAKE UP AIR VENT TO BE INTEGRATED INTO CABINETS WHERE NECESSARY PER INTERIOR DESIGN DRAWINGS
 - FINAL CABINET AND APPLIANCE PLAN SUBJECT TO FINAL INTERIOR DESIGN DRAWINGS

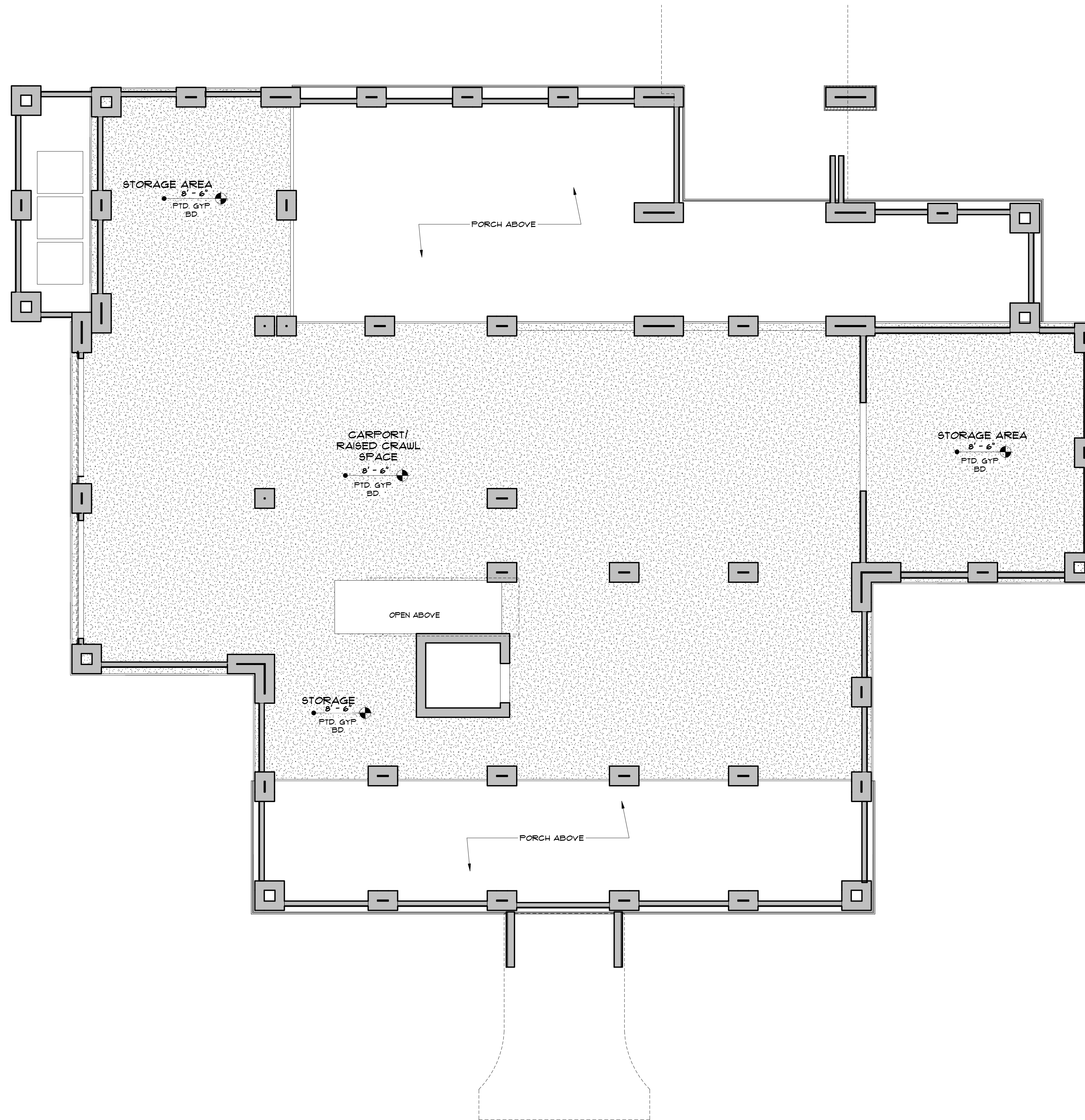


| SQUARE FOOTAGES | |
|-----------------------------------|------------------|
| MAIN HOUSE (HEATED) | |
| MAIN LEVEL | 2006 SQFT |
| UPPER LEVEL | 1181 SQFT |
| TOTAL HEATED (HOUSE) | 3187 SQFT |
| GUEST HOUSE (HEATED) | |
| MAIN LEVEL ENTRY | 191 SQFT |
| M.I.L SUITE | 163 SQFT |
| TOTAL HEATED (GUEST HOUSE) | 354 SQFT |
| COVERED/UNHEATED | |
| RAISED CRAWL SPACE | 1736 SQFT |
| DETACHED GARAGE | 576 SQFT |
| OUTDOOR LIVING | 529 SQFT |
| ENTRY/PORCH | 365 SQFT |
| TOTAL | 3206 SQFT |
| TOTAL ROOFED AREA | 1293 SQFT |

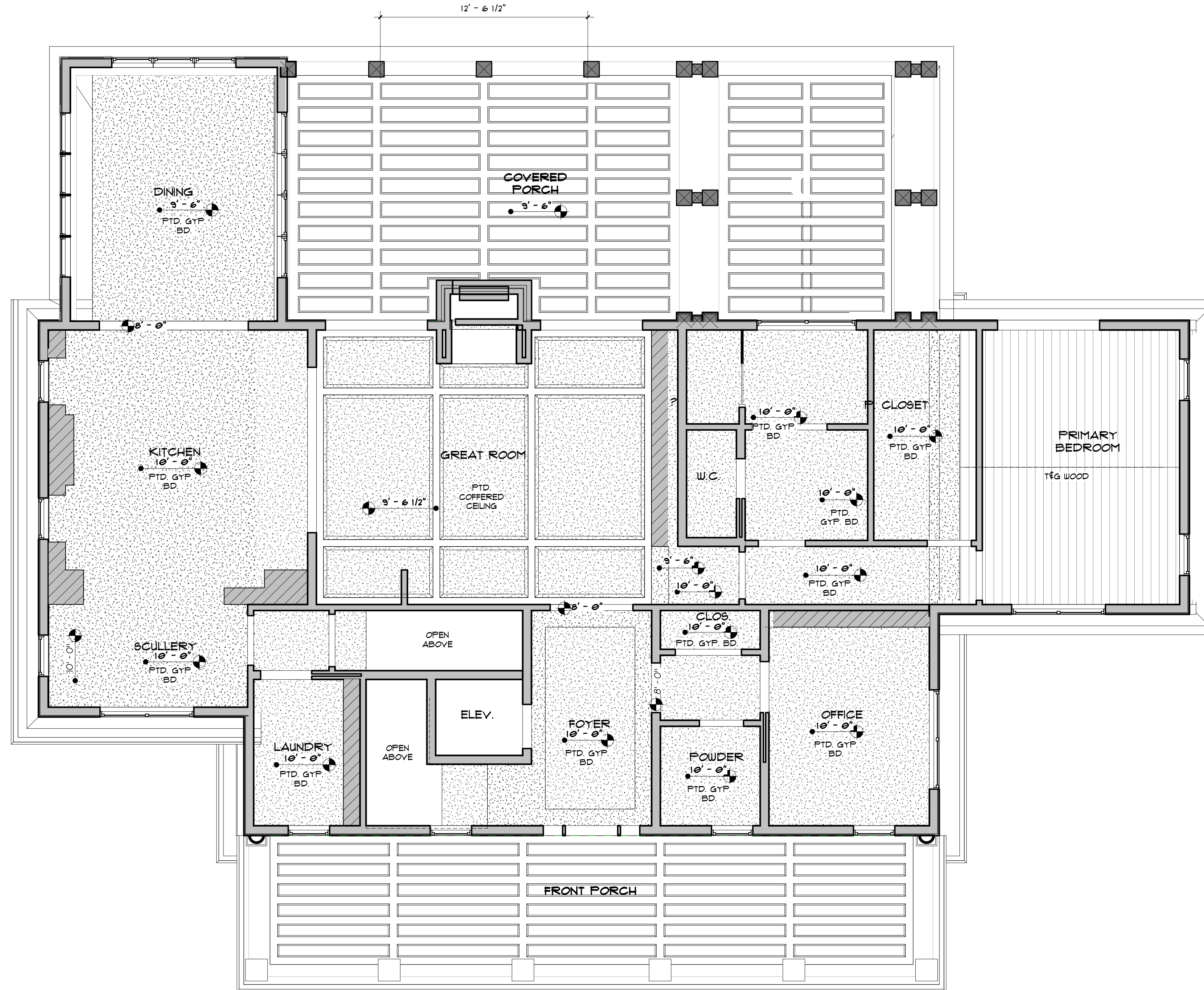


GENERAL NOTES
1. ALL NON-GALVALUM EXPOSED VERTICAL FLASHINGS TO BE PAINTED TO MATCH FIELD COLOR OF HOUSE
2. A/H ON PLATFORM IN ATTIC. G.C. TO COORDINATE W/MECHANICAL CONTRACTOR FOR A/H UNIT SIZE AND MINIMUM SERVICE AREA REQUIRED FOR MAINTENANCE AND PLATFORM SIZE

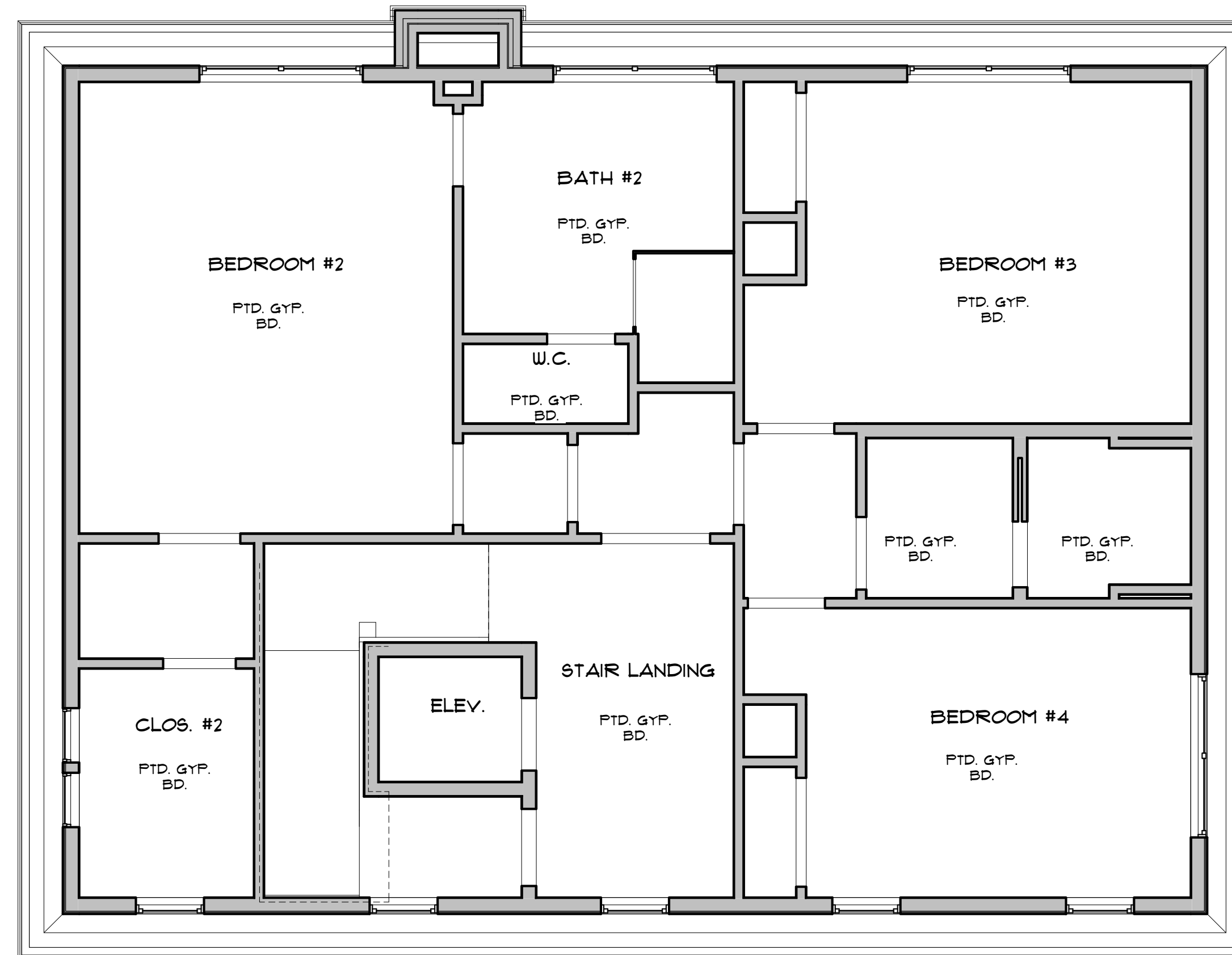
T.O. ROOF MAX
SCALE: 1/4" = 1'-0" 1



RAISED CRAWL SPACE RCP
 SCALE: 1/4" = 1'-0" ①



MAIN FLOOR REFLECTED CEILING PLAN 1
SCALE: 1/4" = 1'-0"



UPPER FLOOR PLAN ①
 SCALE: 1/4" = 1'-0"

CONSULTANT:

Ravenel Welch Residence
 100 FARMFIELD AVENUE

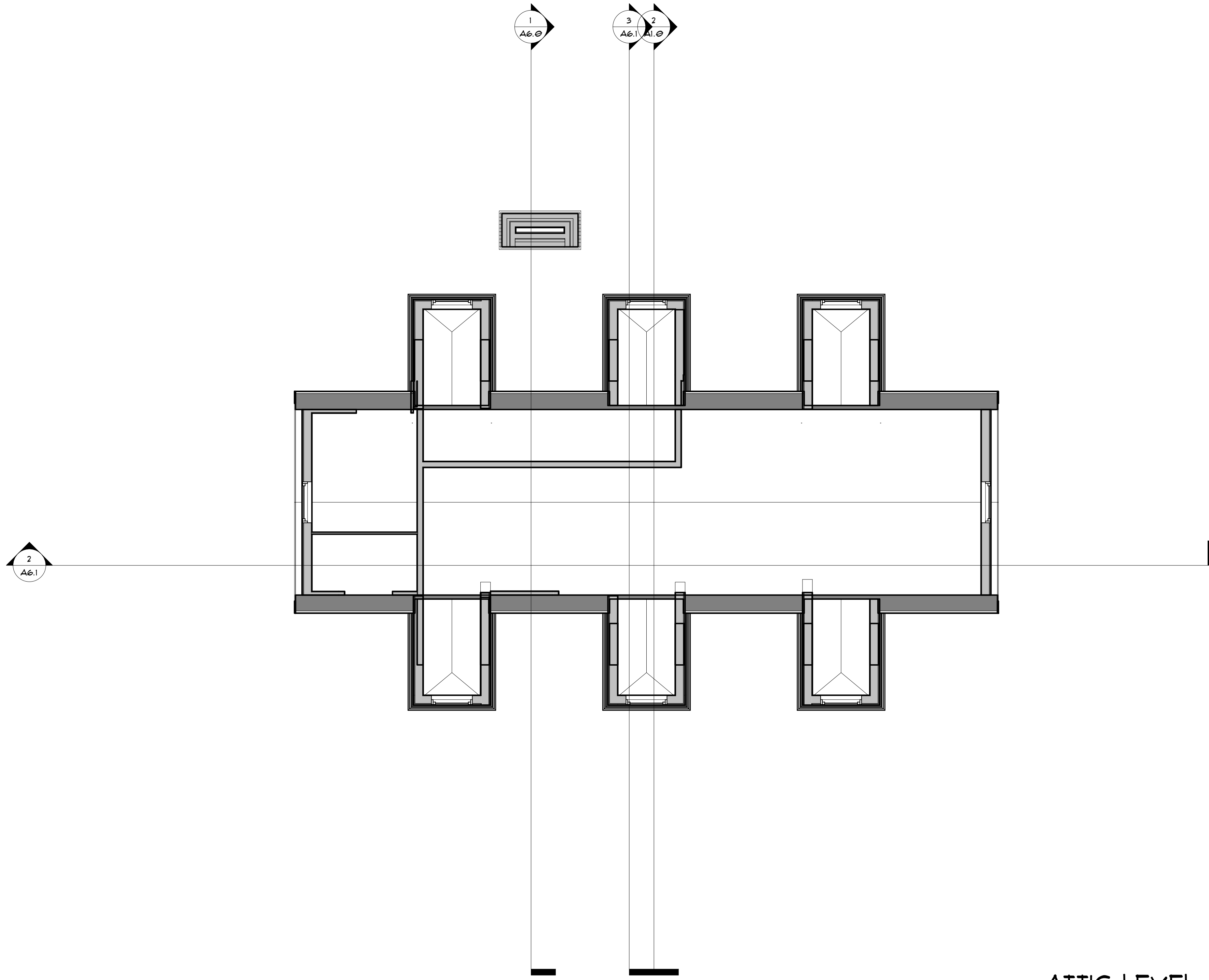
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A4.2



ATTIC LEVEL ①
 SCALE: 1/4" = 1'-0"

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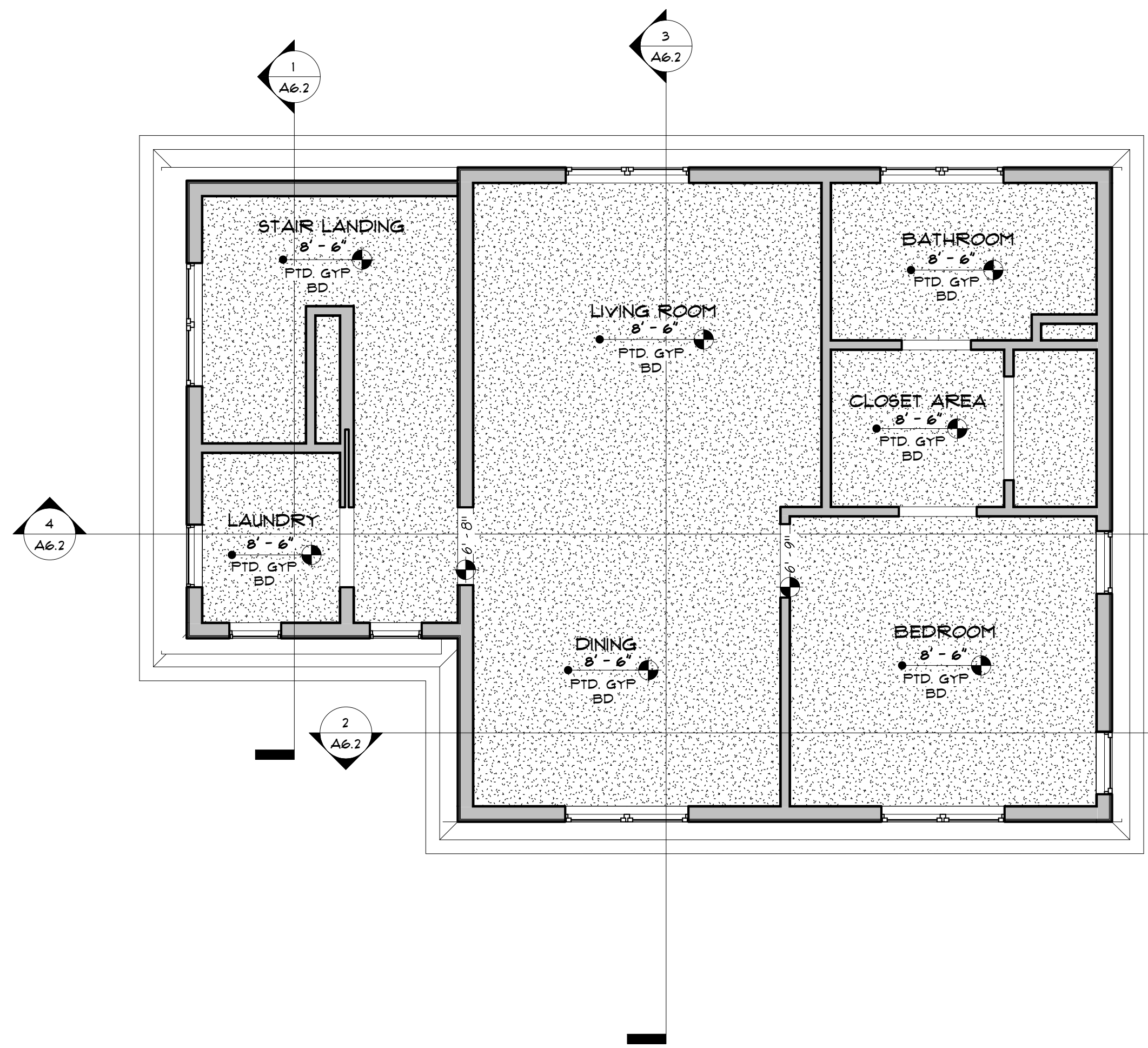
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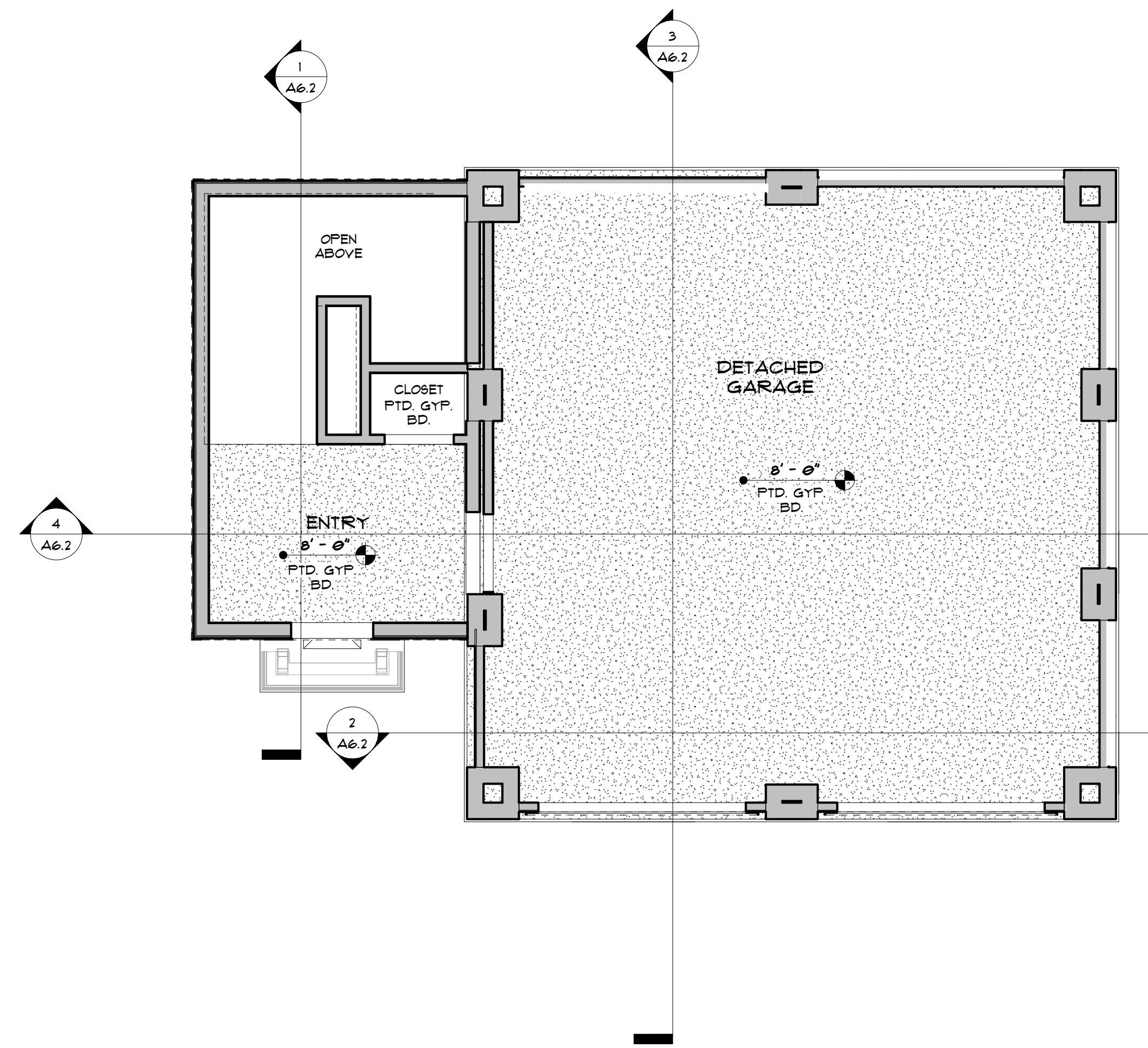
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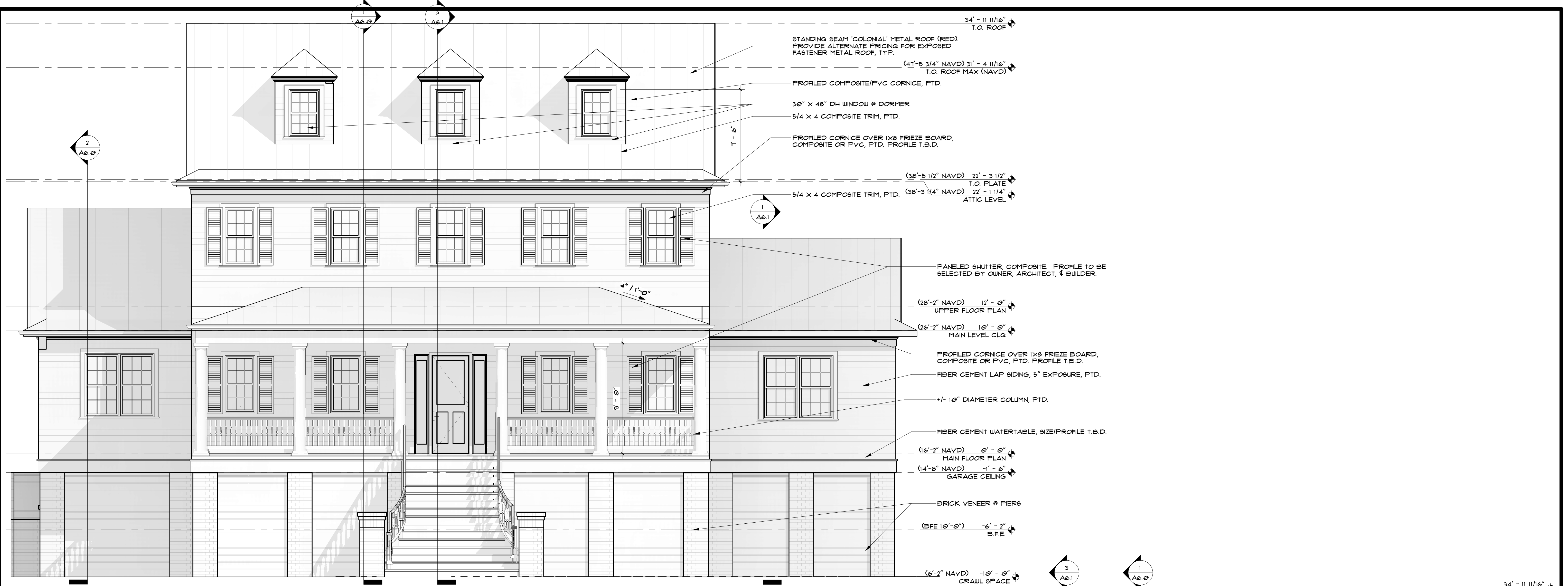
A4.4



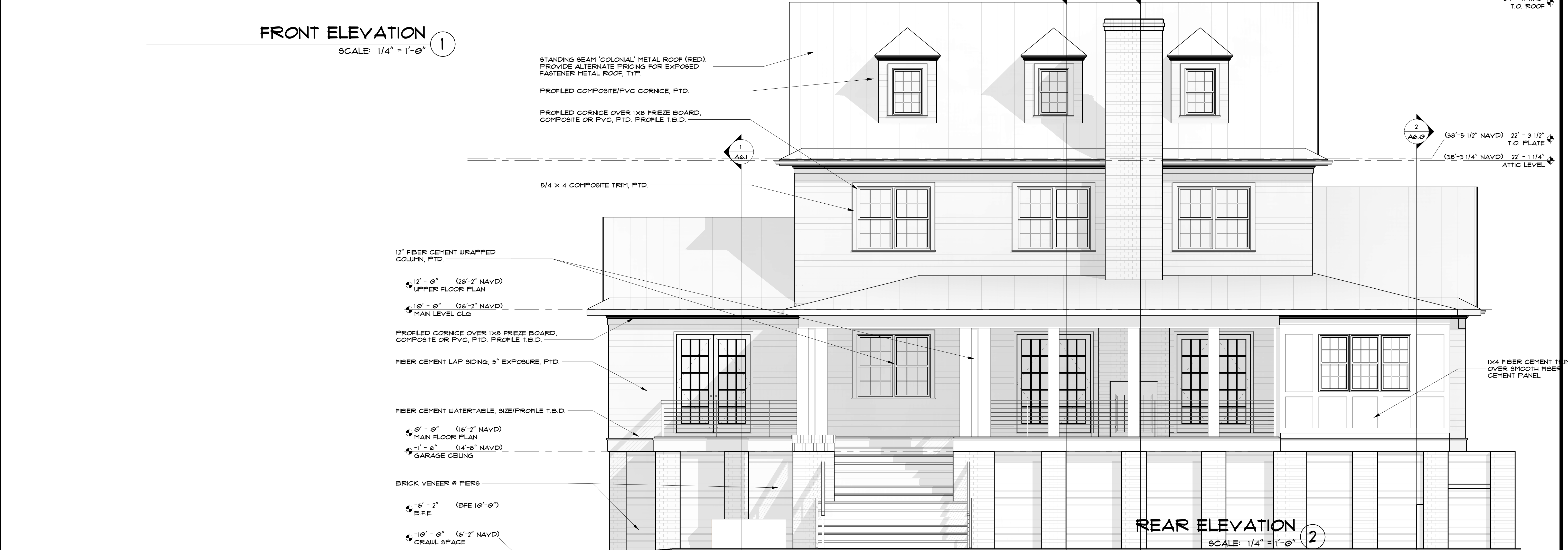
DETACHED GARAGE UPPER LVL RCP ②
 SCALE: 1/4" = 1'-0"



DETACHED GARAGE MAIN LVL RCP ①
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION ①
SCALE: 1/4" = 1'-0"



REAR ELEVATION ②
SCALE: 1/4" = 1'-0"

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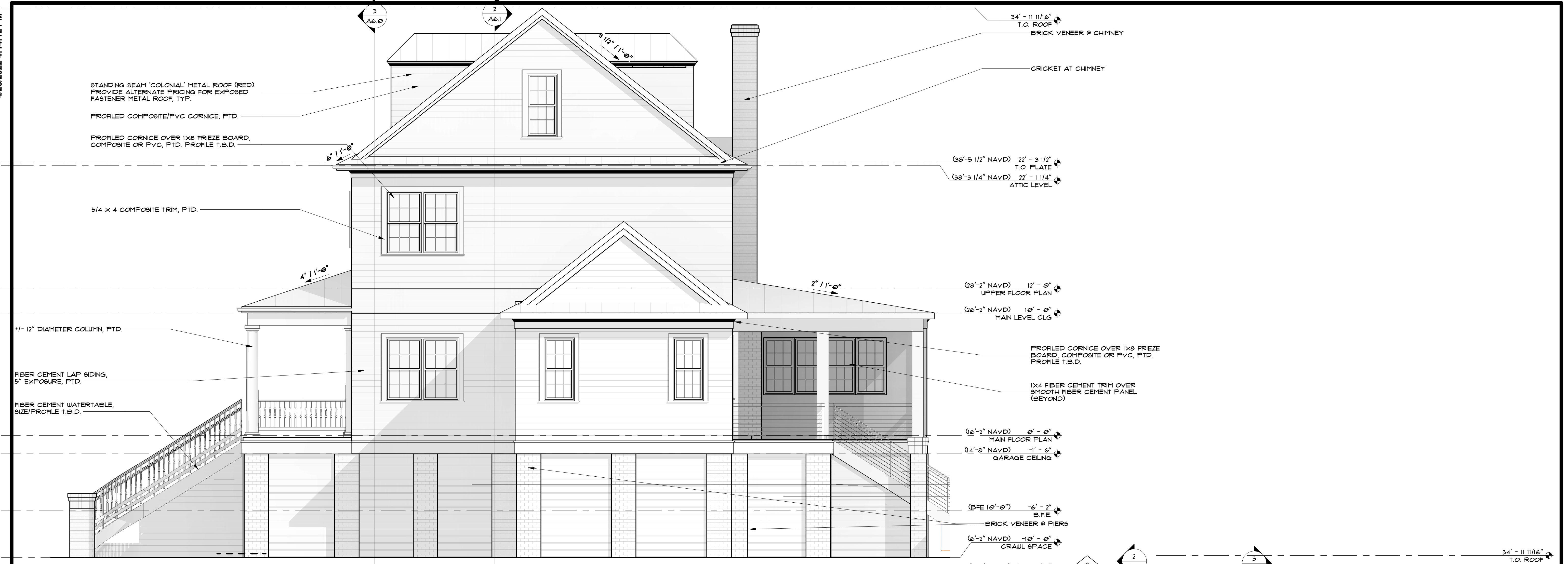
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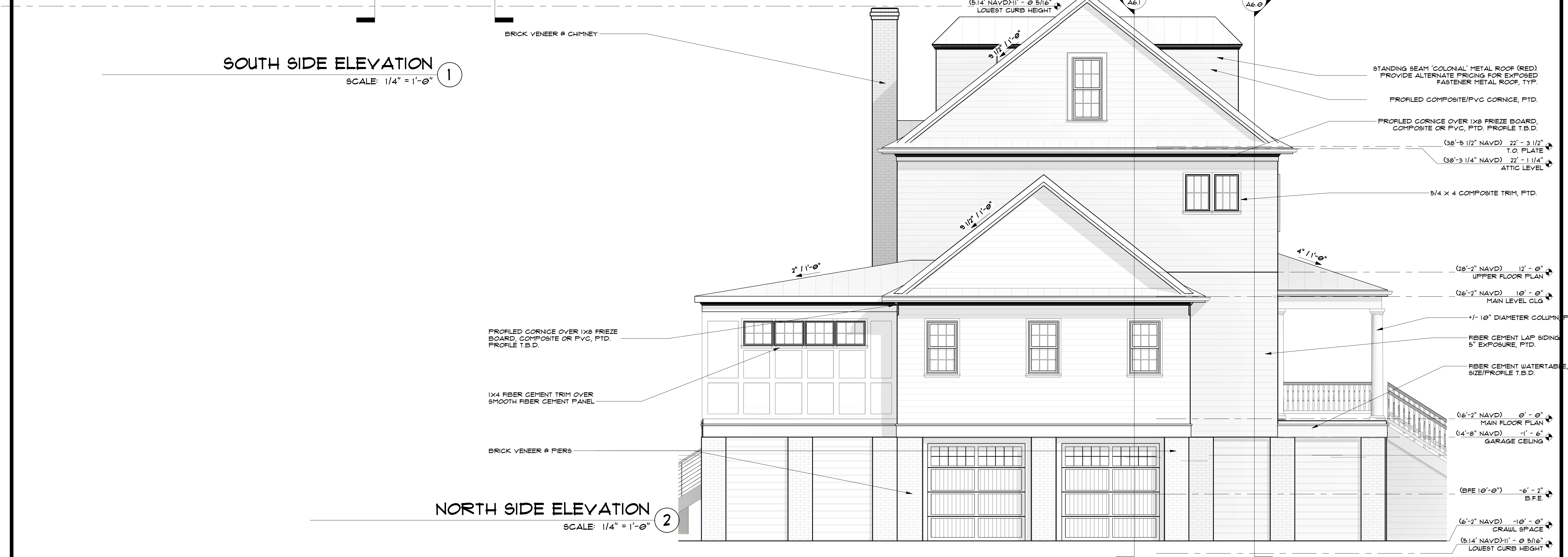
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A5.1



SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0" ①



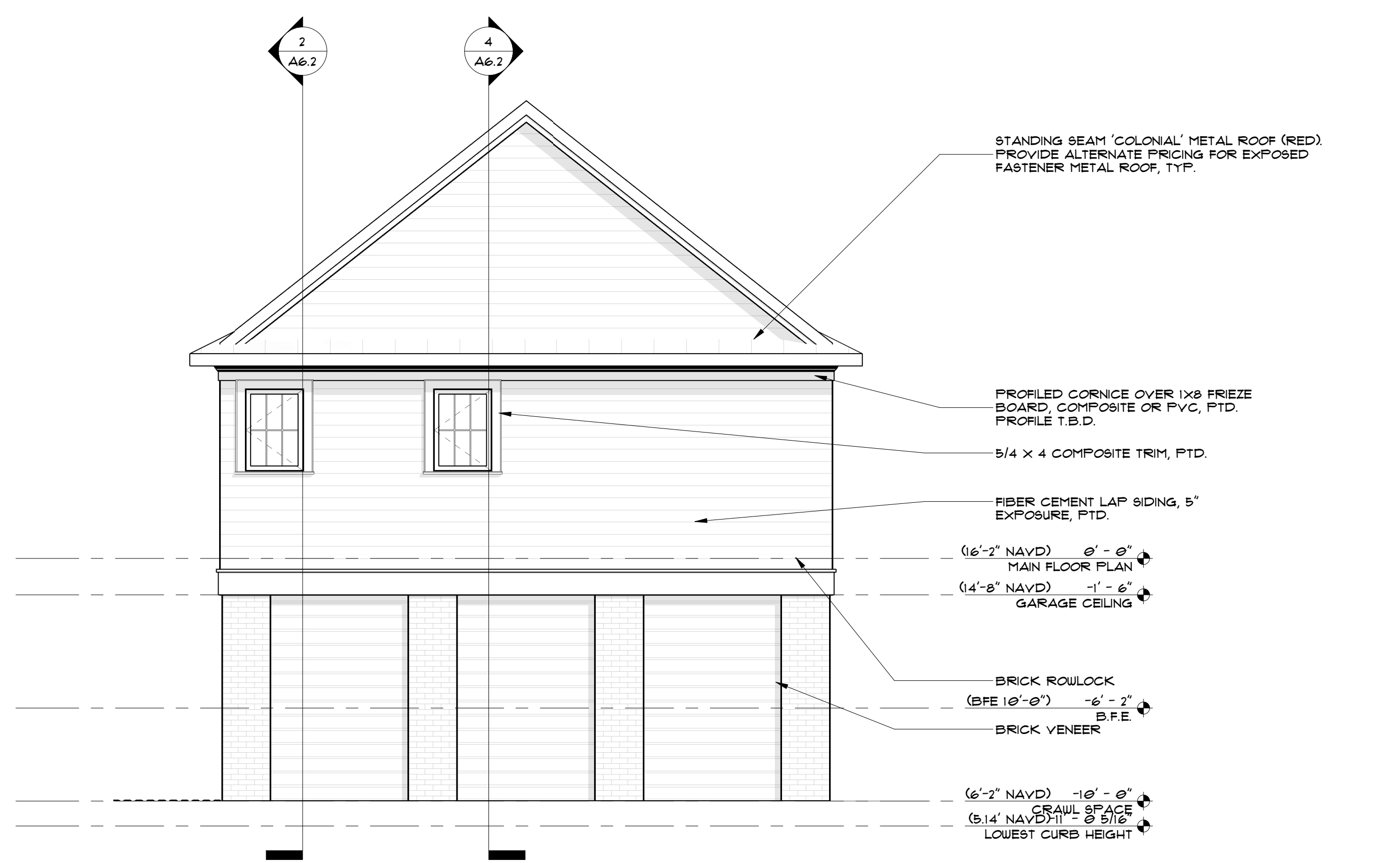
NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0" ②



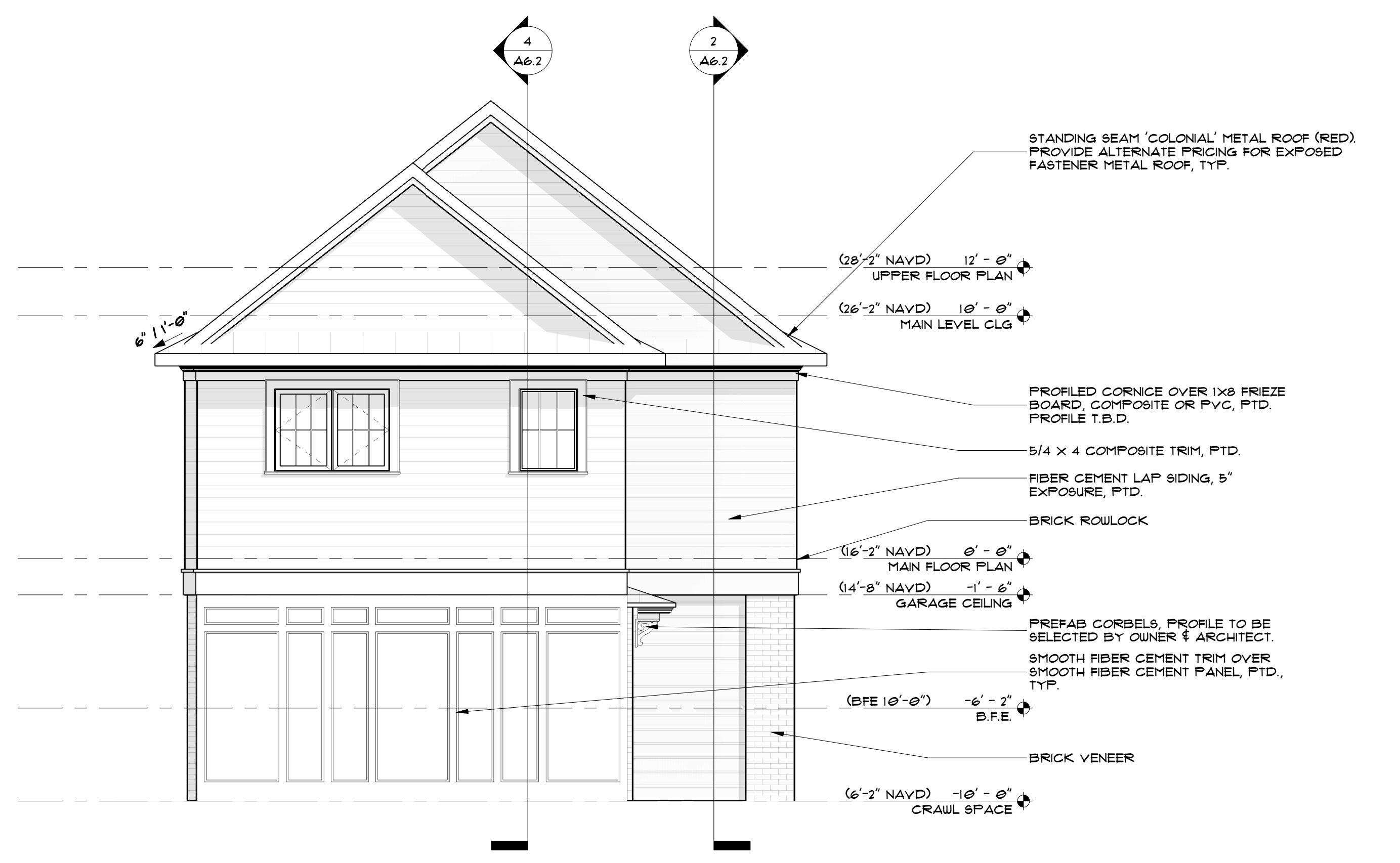
GARAGE - FRONT ELEVATION 1
SCALE: 1/4" = 1'-0"



GARAGE - REAR ELEVATION 2
SCALE: 1/4" = 1'-0"



GARAGE - EAST SIDE ELEVATION 3
SCALE: 1/4" = 1'-0"



GARAGE - WEST SIDE ELEVATION 4
SCALE: 1/4" = 1'-0"

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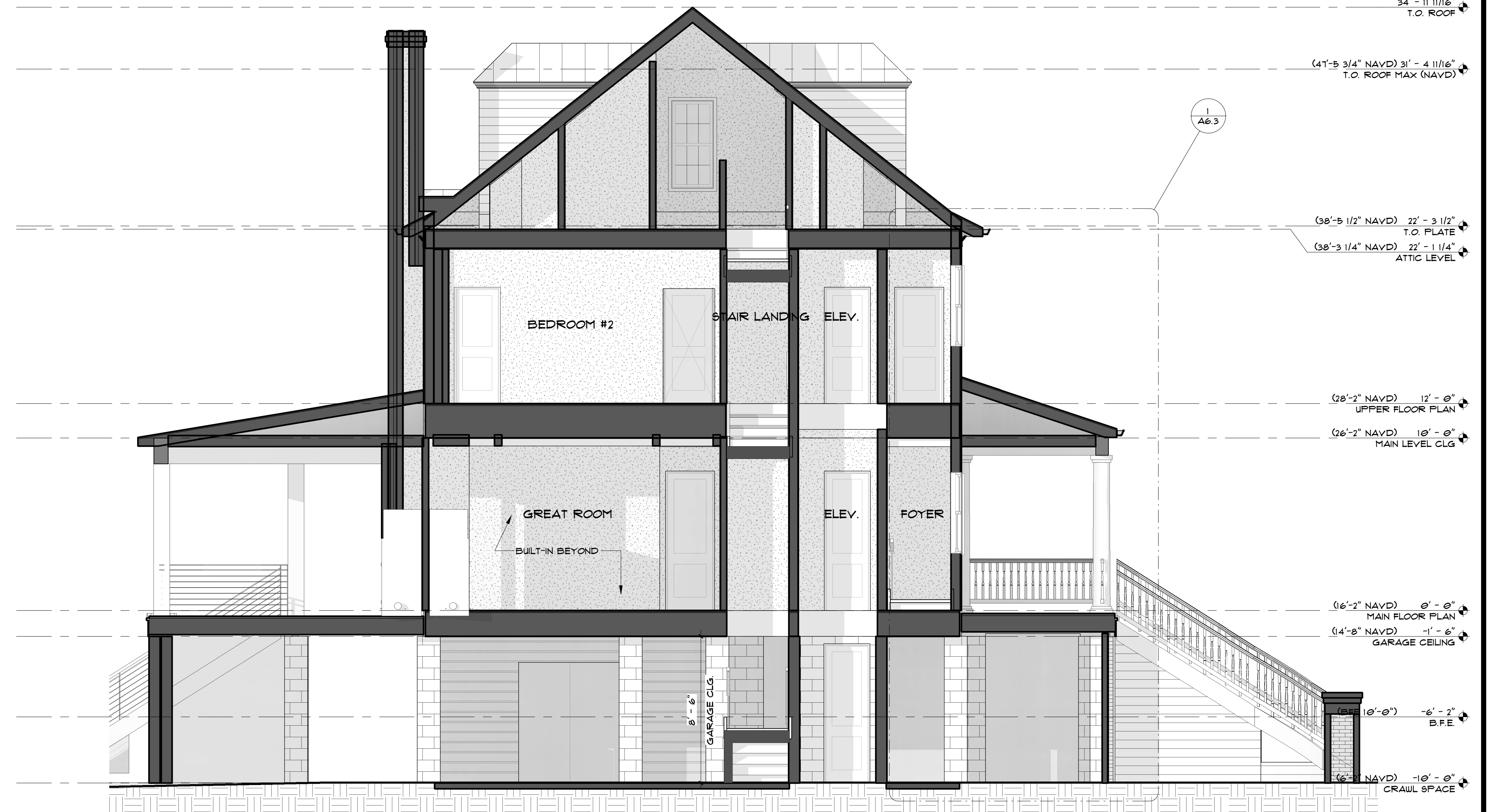
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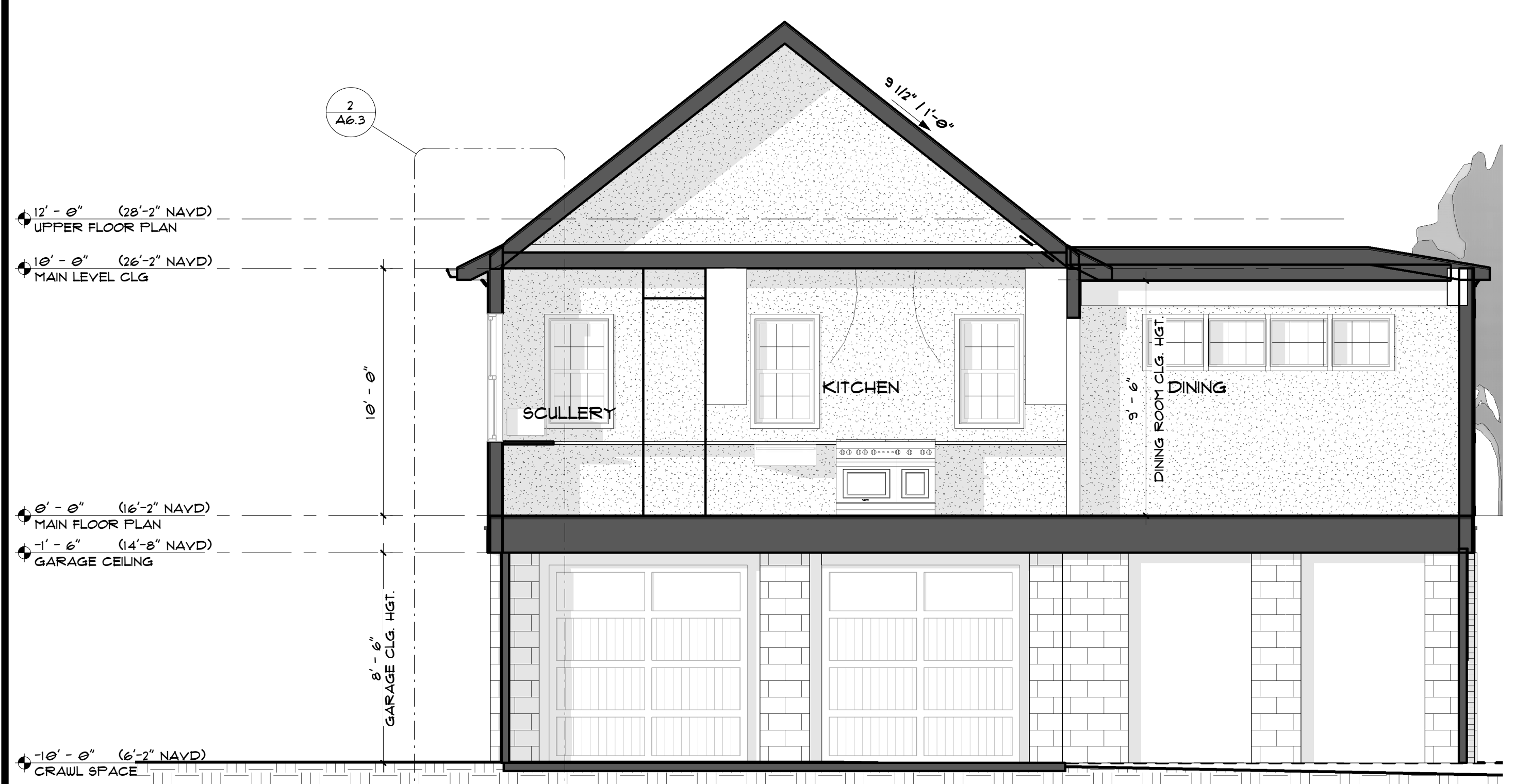
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A6.0



BUILDING CROSS SECTION 1
SCALE: 1/4" = 1'-0" 1



BUILDING SECTION @ KITCHEN & DINING 2
SCALE: 1/4" = 1'-0" 2



BUILDING SECTION @ FRONT OF HOUSE 3
SCALE: 1/4" = 1'-0" 3

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100 FARMFIELD AVENUE

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A6.1

31' - 4 11/16" (41'-5 3/4" NAVD)
T.O. ROOF MAX (NAVD)

22' - 3 1/2" (38'-5 1/2" NAVD)
T.O. PLATE

12' - 0" (28'-2" NAVD)
UPPER FLOOR PLAN

10' - 0" (26'-2" NAVD)
MAIN LEVEL CLG

0' - 0" (16'-2" NAVD)
MAIN FLOOR PLAN

-1' - 6" (14'-8" NAVD)
GARAGE CEILING

-6' - 2" (BFE 10'-0")
B.F.E.

-10' - 0" (6'-2" NAVD)
CRAWL SPACE



38'-3 1/4" NAVD) 2'-1 1/4" ATTIC LE

12' - 0" (28'-2" NAVD)
UPPER FLOOR PLAN

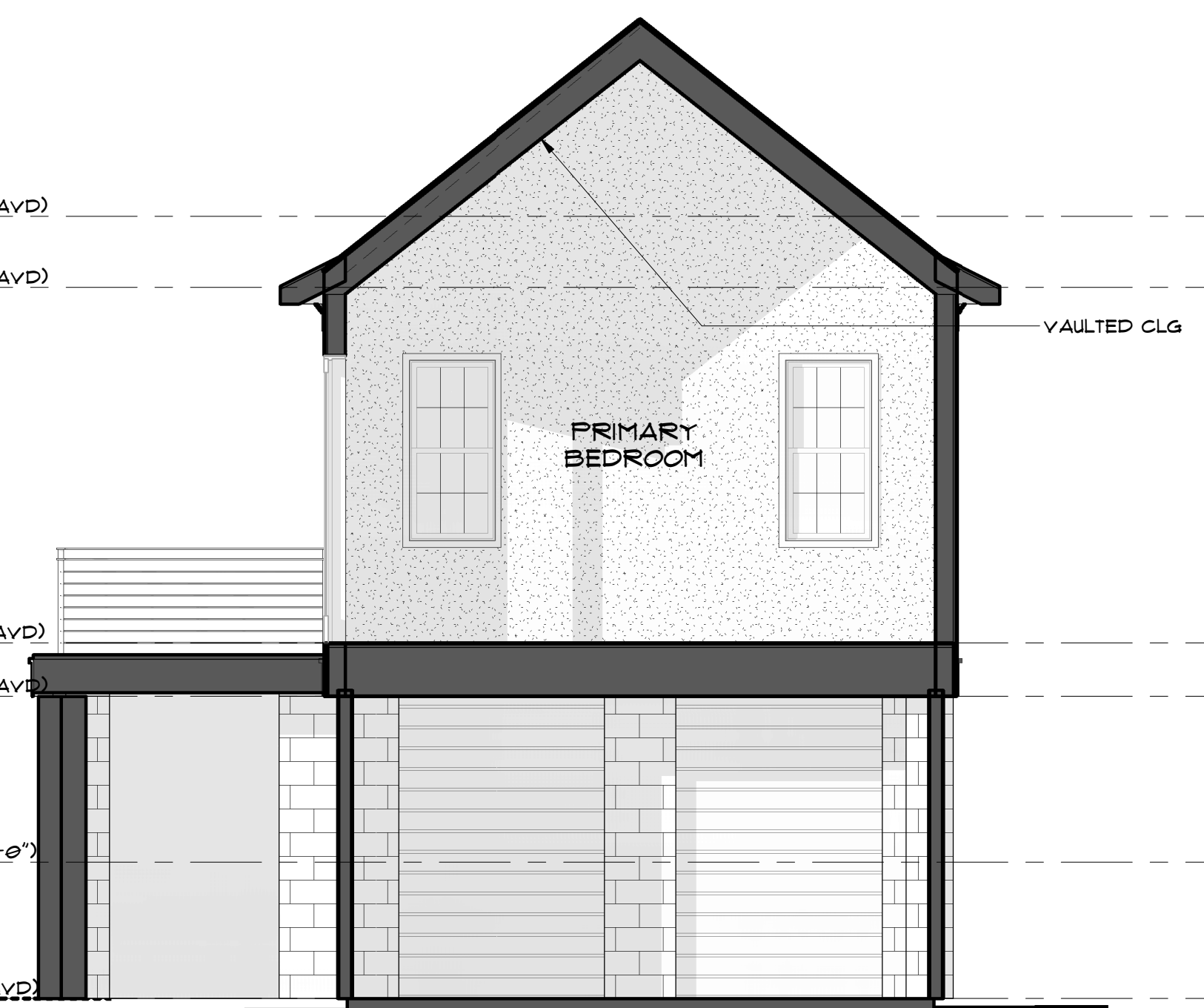
10' - 0" (26'-2" NAVD)
MAIN LEVEL CLG

0' - 0" (16'-2" NAVD)
MAIN FLOOR PLAN

-1' - 6" (14'-8" NAVD)
GARAGE CEILING

-6' - 2" (BFE 10'-0")
B.F.E.

-10' - 0" (6'-2" NAVD)
CRAWL SPACE



BUILDING SECTION @ MAIN BEDROOM 1
SCALE: 1/4" = 1'-0"

BUILDING SECTION @ STAIR 2
SCALE: 1/4" = 1'-0"

38'-3 1/4" NAVD) 2'-1 1/4" ATTIC LE

38'-5 1/2" NAVD) 22'-3 1/2" T.O. PLATE

10'-3 1/2" STAIR LANDING

BATH #2

GREAT ROOM

FOYER

10'-0" STAIR LANDING

12' - 0" (28'-2" NAVD) UPPER FLOOR PLAN

10' - 0" (26'-2" NAVD) MAIN LEVEL CLG

16'-2" NAVD) 12' - 0" UPPER FLOOR PLAN

10' - 0" (26'-2" NAVD) MAIN LEVEL CLG

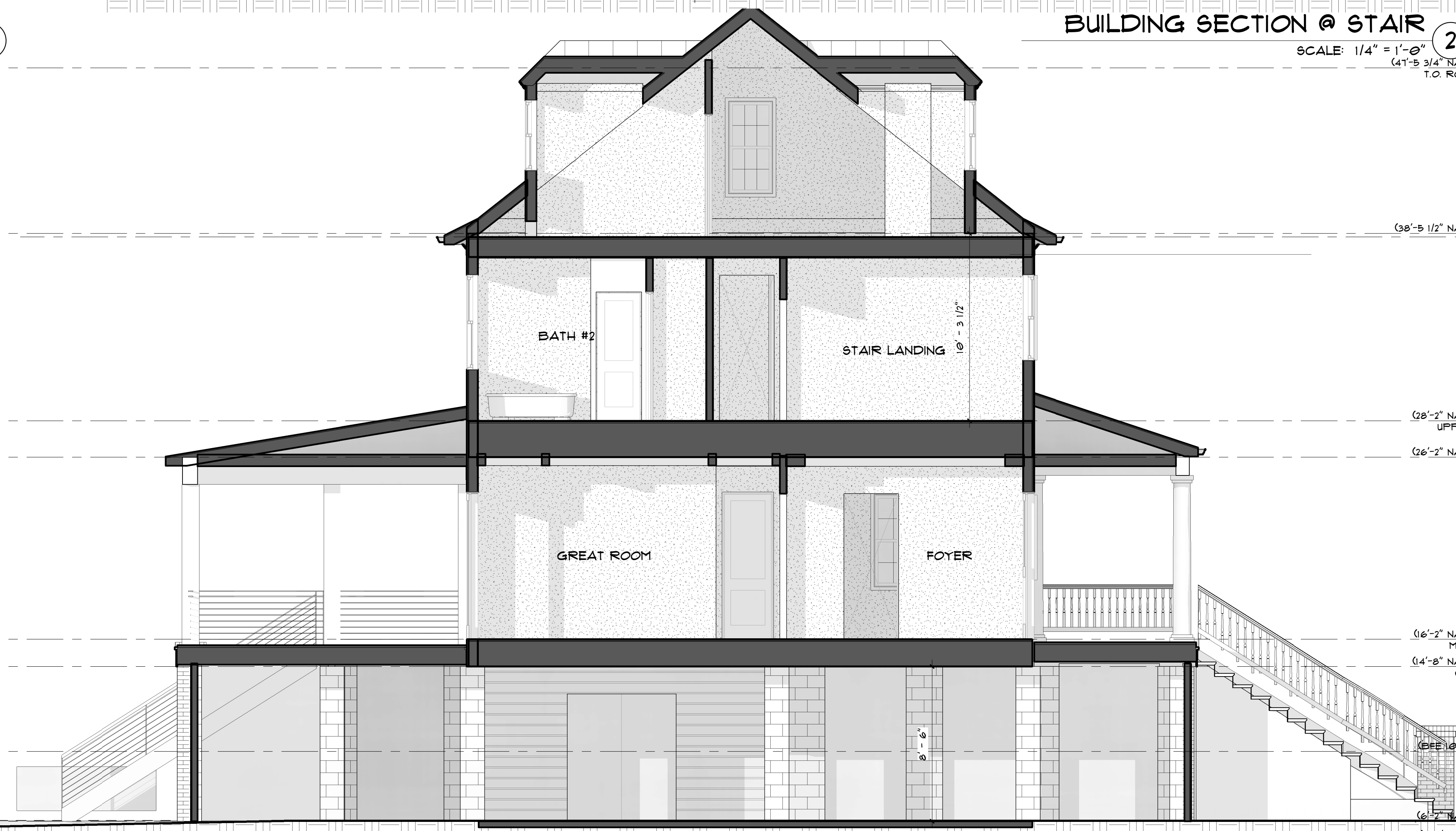
16'-2" NAVD) 0' - 0" MAIN FLOOR PLAN

14'-8" NAVD) -1' - 6" GARAGE CEILING

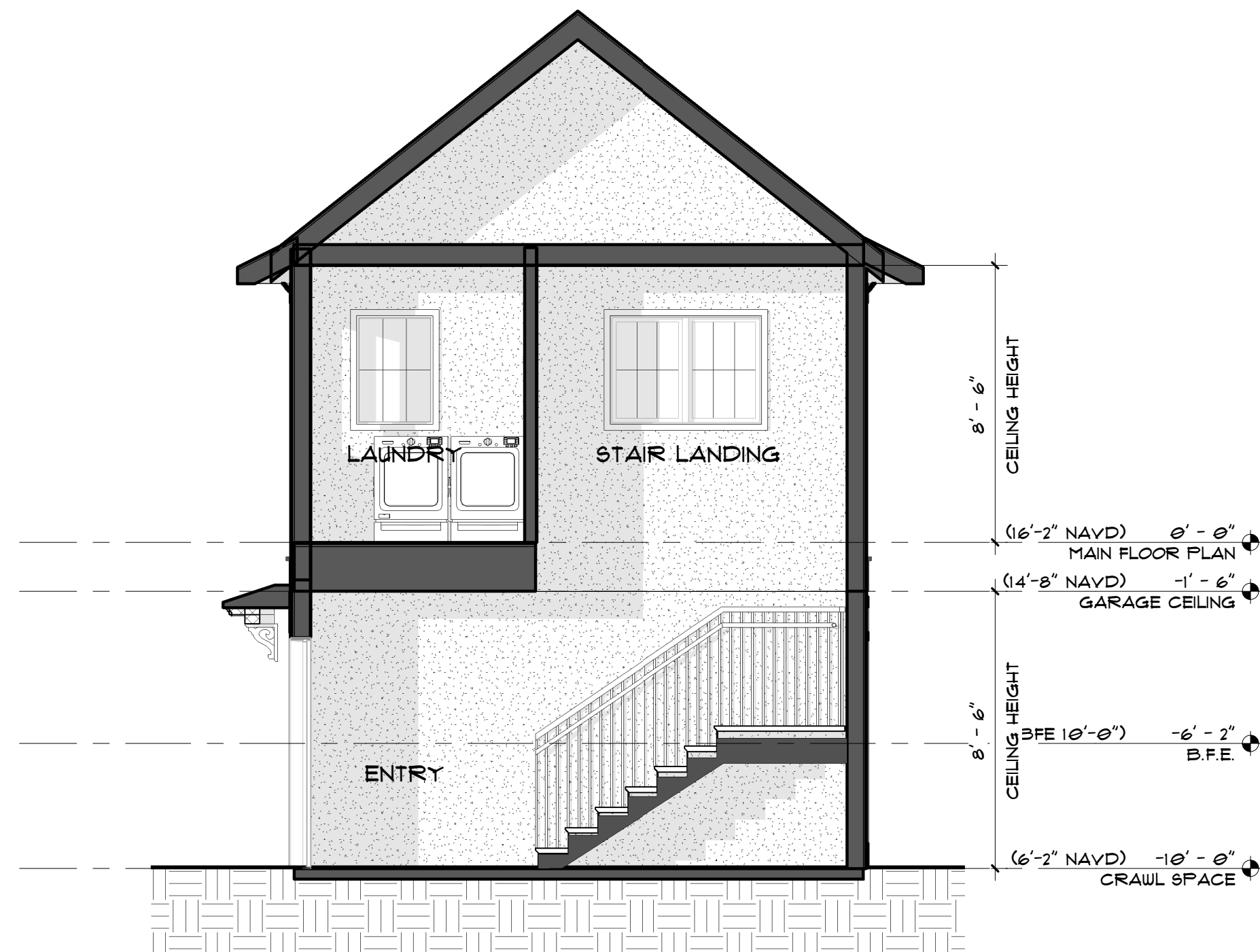
6'-2" NAVD) -6' - 2" B.F.E.

6'-2" NAVD) -10' - 0" CRAWL SPACE

5'-14" NAVD) 5'-1/2" LOWEST CURB HEIGHT



BUILDING SECTION 3
SCALE: 1/4" = 1'-0"



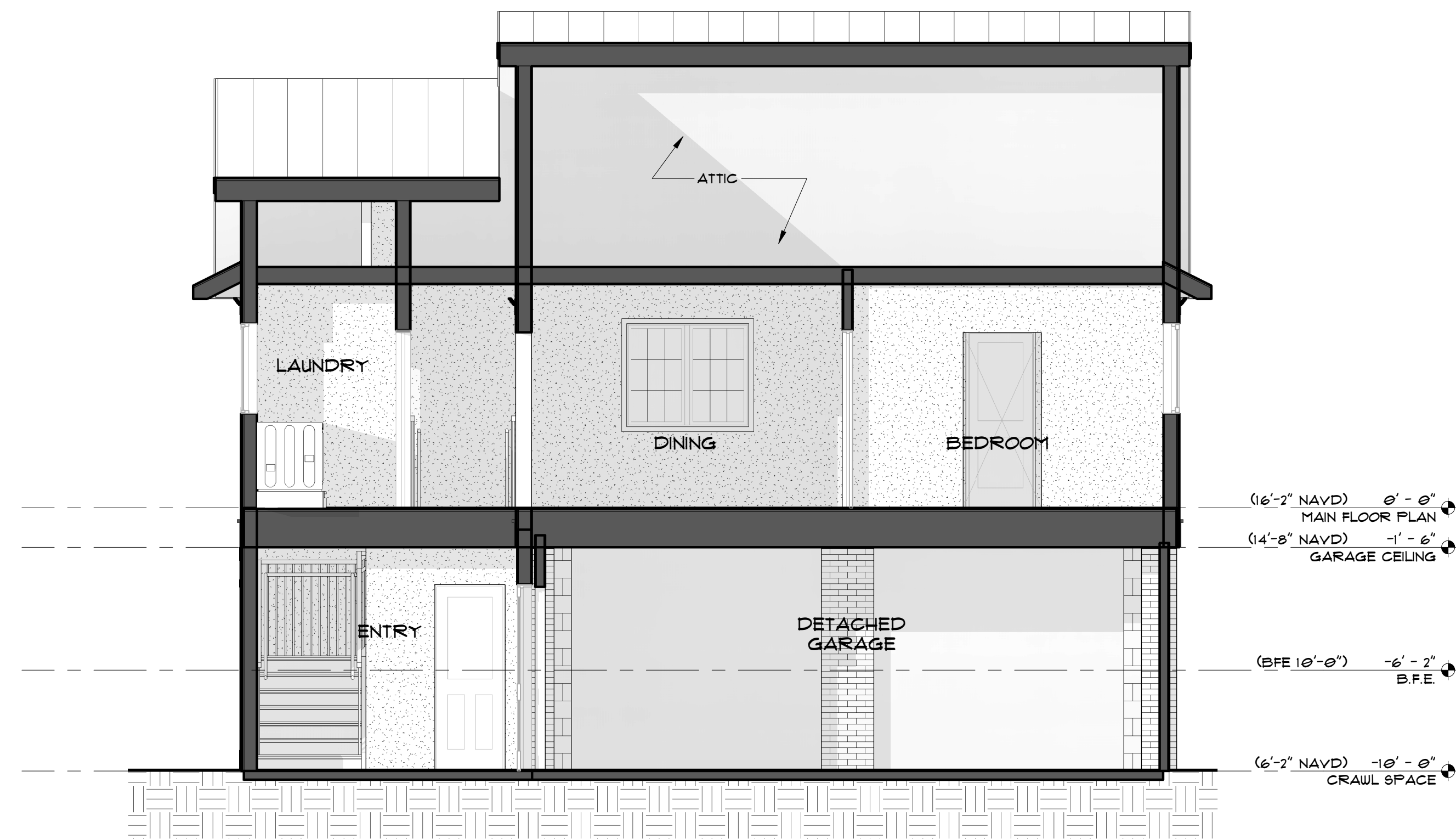
GARAGE BUILDING SECTION @ ENTRY STAIR
SCALE: 1/4" = 1'-0" ①



GARAGE BUILDING SECTION @ KITCHEN
SCALE: 1/4" = 1'-0" ②



GARAGE BUILDING SECTION @ LIVING/KITCHEN
SCALE: 1/4" = 1'-0" ③



GARAGE BUILDING SECTION @ ENTRY
SCALE: 1/4" = 1'-0" ④