

# Revenel Welzh Residence

100 FARMFIELD AVENUE



#### **ABBREVIATIONS:** ABY ABOYE QT QUARRY TILE GA GAGE, GAUGE ABOVE FINISHED FLOOR GALY GALYANIZED ABOYE SUSPENDED GALYANIZED IRON RAD RADIUS GALYANIZED PIPE RDWD REDWOOD ACC ACCESS GALYANIZED STEEL SHEET REF REFERENCE ACCESS PANEL GENERAL CONTRACTOR REFR REFRIGERATOR ACT ACOUSTICAL PANEL GLASS, GLAZING REG REGISTER ADH ADHESIVE GLASS BLOCK REINF REINFORCE (D), (ING) **ADJACENT** GLASS FIBER RCP REINFORCED ADJT ADJUSTABLE GB GRAB BAR CONCRETE PIPE AGG AGGREGATE GRADE, GRADING RESIL RESILIENT AIR CONDITIONING GRAVEL RET RETURN ALTERNATE GROUT RA RETURN AIR ALUM ALUMINUM GYP GYPSUM DRY WALL REV REVISION (S) AB ANCHOR BOLT RIGHT HAND ANOD ANODIZED ROW RIGHT OF WAY APX APPROXIMATE HBD HARDBOARD RISER AD AREA DRAIN HDW HARDWARE ROOF DRAIN RD ASPH ASPHALT HWD HARDWOOD RFG ROOFING AT ASPHALT TILE HDR HEADER RM ROOM AUTO AUTOMATIC HTG HEATING RSC ROUGH SAWN CEDAR HYAC HEATING/YENTILATING/ RLK ROWLOCK BSMT BASEMENT AIR CONDITIONING BRG BEARING HEIGHT SFGL SAFETY GLASS BPL BEARING PLATE HOLLLOW CORE SCH SCHEDULE BENCH MARK HOLLOW METAL SCN SCREEN BET HOR HORIZONTAL BETWEEN STG SEATING BEVELED HB HOSE BIBB BVL SECT SECTION BITUMINOUS SSD SEE STRUCTURAL BLK BLOCK INCIN INCINERATOR DRAWINGS BLKG BLOCKING SHTG SHEATHING BOARD INCLUDE (D), (ING) BD SHEET BOTH SIDES INSIDE DIAMETER SHEET GLASS BW BOT SG BOTH WAYS INSULATE (D), (ING) SHELF, SHELVING BOTTOM INTERIOR SIMILAR BRK BRICK INTM INTERMEDIATE SLDC SOLDIER COURSE BRZ BRONSE INVERT SOLID CORE IRON PIPE BLDG BUILDING BUR BUILT UP ROOFING SOUNDPROOF IPS IRON PIPE SIZE SOUTH SPK SPEAKER CAB CABINET SPL SPECIAL JANITOR'S CLOSET CPT SPEC SPECIFICATION (S) CARPET (ED) JOINT CSMT CASEMENT SQUARE JOINT FILLER CAST IRON STAINLESS STEEL JST JOIST CIPC CAST-IN-PLACE CONCRETE STD STANDARD CST CAST STONE STA STATION CB CATCH BASIN STL STEEL CLG STOR STORAGE CEILING KIT KITCHEN CHT SD STORM DRAIN CEILING HEIGHT KO KNOCKOUT CEM CEMENT STRT STRUCTURAL CENTIMETER(6) LBL LABEL SCT STRUCTURAL CLAY CER CERAMIC LAB LABORATORY SUSP SUSPENDED CERAMIC TILE LAG BOLT CMT CERAMIC MOSAIC (TILE) SYS SYSTEM LAM LAMINATE (ED) CHAM CHAMFER LAY LAVATORY CIR CIRCLE LEFT HAND CLR CLEAR (ANCE) LENGTH **TELEPHONE** TEL COL COLUMN LIGHT ŤΥ TELEVISION COMB COMBINATION LIGHTWEIGHT THK THICK (NESS) CONC CONCRETE THR LIGHTWEIGHT CONCRETE THRESHOLD CMU CONCRETE MASONRY UNIT LMS TTPN TOILET PARTITION LIMESTONE CONST CONSTRUCTION TPD TOILET PAPER CONT CONTINUOUS OR CONTINUE LIVE LOAD DISPENSER CONTROUTRACT (OR) LYR LOUVER LPT LOW POINT TOLERANCE CONTRACT LIMIT LINE TONGUE \$ GROOVE CONTROL JOINT TOP OF CURB CORNER GUARD TOP OF GRADE CORR CORRUGATED TOP OF PAYEMENT MH MANHOLE CFL COUNTER FLASHING TOP OF SLAB MANUFACTURE (ER) COURSE (S) TOP OF STEEL MAS MASONRY CUBIC FOOT TOP OF WALL MASONRY OPENING CY CUBIC YARD TOWEL BAR MATERIAL (6) TBD TO BE DETERMINED MAX MAXIMUM TREAD MECH MECHANIC (AL) TYP TYPICAL DAMPPROOFING MEDICINE CABINET DEAD LOAD MED MEDIUM DEMO DEMOLISH, DEMOLITION MBR MEMBER UNFIN UNFINISHED DESIGN FLOOD ELEVATION MMB MEMBRANE UR URINAL DIAG DIAGONAL METER (S) VAPOR BARRIER DIAM DIAMETER MILLIMETER (6) VAR VARNISH DIM DIMENSION MINIMUM YNR YENEER MIRROR DIV DIVISION VERT VERTICAL DOOR MISC MISCELLANEOUS VG VERTICAL GRAIN DOUBLEACTING MOD MODULAR YERIFY IN FIELD VIF MLD MOLDING, MOULDING DOUBLE HUNG VIN VINYL DS DOWNSPOUT MOP RECEPTOR **YB** VINYL BASE MOUNT (ED), (ING) VT DRAIN VINYL TILE MOV MOVABLE DWR DF DRAWER MULL MULLION DRINKING FOUNTAIN WSCT WAINSCOT DISHWASHER WTW WALL TO WALL WALL HUNG WATER HEATER EACH NAT NATURAL WATER CLOSET EACH FACE NOISE REDUCTION WATERPROOFING COEFFICIE AN1 WATER REPELLENT ELEC ELECTRIC (AL) WATERSTOP ELECTRIC PANELBOARD WWF WELDED WIRE FABRIC ELECTRIC WATER COOLER NORTH WEST ELEVATION NOT IN CONTRACT WIDTH, WIDE ELEV ELEVATOR NTS NOT TO SCALE WDW WINDOW EMER EMERGENCY WIRED GLASS WG EQUAL WIRE MESH EST ESTIMATE OC ON CENTER (6) w/0 WITHOUT EXCA EXCAVATE WOOD OPG OPENING EXH EXHAUST EXTG EXISTING OPPOSITE WOOD BASE OPH OPPOSITE HAND WORKING POINT EB EXPANSION BOLT WROUGHT IRON OPS OPPOSITE SURFACE EXP EXPOSED OUTSIDE DIAMETER EXT EXTERIOR OVERALL EXS EXTRA STRONG OVERHEAD FB FACE BRICK PNT PAINT (ED) FACE OF CONCRETE PANEL FOF FACE OF FINISH FOM FACE OF MASONRY PANIC BAR PTD PEPER TOWEL DISPENSER FOS FACE OF STUDS PTR PAPER TOWEL RECEPTOR FACTORY FINISH FAS FASTEN, FASTENER PAR PARALLEL FIBERBOARD PARKING PBD PARTICLE BOARD FIBERGLASS FINISH (ED) PTN PARTITION FINISHED FLOOR ELEVATION PY PAYE (D), (ING) FINISHED FLOOR LINE PYMT PAYEMENT PED PEDESTAL FIRE ALARM FBRK FIRE BRICK PERF PERFORATE (D) FIRE EXTINGUISHER PERI PERIMETER FIRE EXTINGUISHER CABINET PLAS PLASTER FIRE HOSE STATION PLASTIC LAMINATE FPL FIREPLACE PLATE PLATE GLASS FIREPROOF FRT FIRE-RETARDANT PLWOOD FLG FLASHING PRESSURE TREATED FLX FLEXIBLE FLR FLOOR (ING) PVC POLYVINYL CHLORIDE POST-TENSIONED FLCO FLOOR CLEANOU' POUNDS PER CUBIC FOOT FLOOR DRAIN POUNDS PER LINEAL FOOT FLOOR PLATE FLUR FLUORESCENT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH FTG FOOTING FND FOUNDATION PRECAST CONCRETE FR FRAME (D), (ING) PFB PREFABRICATE (D) FRA FREASH AIR PSC PRESTRESSED CONCRETE FS FULL SIZE PL PROPERTY LINE FBO FURNISHED BY OTHERS FUR FURRED (ING) FUT FUTURE

## **GENERAL NOTES:**

EXISTED PRIOR TO CONSTRUCTION.

- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
- WHEN WORK IS NOT SPECIFICALLY NOTED BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE DOCUMENTS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE OBTAINED FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY
- ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT. THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID.
- CONTRACTOR SHALL BE EXPERIENCED IN THIS TYPE OF WORK. NO ALLOWANCES WILL BE MADE FOR LACK OF EXPERIENCE.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE
- PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED,
- OR CAPPED, AS REQUIRED BY CODE. DAMAGED OR DISRUPTED EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO LANDSCAPING, LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHALL BE
- DISRUPTED ELECTRICAL AND WATER LINES SHALL BE RE-ROUTED DURING CONSTRUCTION AND ARE TO REMAIN IN CONTINUOUS SERVICE UNLESS OTHERWISE INDICATED OR INSTRUCTED.

REPLACED AT THE END OF CONSTRUCTION TO THE SAME STANDARDS OF QUALITY AS

- NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN DIRECTION FROM THE ARCHITECT
- WHERE LACK OF INFORMATION OR DISCREPANCY EXISTS IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE
- UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING, LINES, ETC SHALL BE RUN CONCEALED AND FRAMING SHALL BE CORRECTLY SIZED TO ACCOMPLISH THIS WITHOUT CREATING VARIATIONS IN THE WALL PLANE.
- PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE, AND ACCESSORIES.
- WHEN A PRODUCT, SYSTEM OR ASSEMBLY IS CALLED FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- PRIOR TO PROCEEDING WITH WORK, CONTRACTOR SHALL COORDINATE WITH EACH TRADE THE LOCATIONS OF SLEEVES OR ACCESSORIES INVOLVING OTHER TRADES.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD TRACEABLE TO MATERIALS OR WORKMANSHIP PROVIDED OR PERFORMED BY THE CONTRACTOR, SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO THE CONTRACT BEING AWARDED. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR DEFECTIVE MATERIALS. AT ANY TIME DURING THE CONSTRUCTION PERIOD, OWNER'S REPRESENTATIVES AND THE ENGINEER RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENTED HEREIN OR ON THE DRAWINGS AND AT NO COST TO THE THE OWNER.

- LOCATE, IDENTIFY, AND PROTECT ALL EXISTING UTILITIES ENCOUNTERED DURING THE WORK. IF ANY, NOTIFY UTILITY COMPANIES OF IMPENDING WORK. ENSURE THAT ALL UTILITY AND OTHER SERVICES WHICH MAY BE DISTURBED DURING CLOSE
- PROVIDE SLEEVES APPROPRIATE TO CONSTRUCTION WHERE NEW PIPES, CONDUIT, AND DUCTS PENETRATE WALLS AND FLOORS. FILL VOIDS WITH FIRE SAFING INSULATION OR FOAM

EXCAVATION ARE TEMPORARILY STAYED AND BRACED IN POSITION DURING THE WORK.

PENETRATION SEALANT PROGRESS CLEANING: REMOVE DEBRIS FROM INTERIOR OF BUILDING ON A DAILY BASIS AND STORE TEMPORARILY IN COMMERCIAL TRASH CONTAINERS. REMOVE DEBRIS FROM BUILDING SITE AT INTERVALS REQUIRED TO MINIMIZE OVERFLOW AND SPILLAGE. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER

WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL IN A LAWFUL MANNER.

- PROVIDE TEMPORARY TOILET FACILITIES FOR CONSTRUCTION USE. USE OF THE OWNERS TOILET FACILITIES WILL NOT BE PERMITTED.
- FINAL COMPLETION

  1. DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE WASTE MATERIALS FROM THE SITE AND DISPOSE IN A
- COMPLETE CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF SUBSTANTIAL COMPLETION AND MAINTAIN BUILDING IN CLEANED CONDITION UNTIL FINAL
- REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED FOR PROTECTION OF THE WORK DURING CONSTRUCTION.
- REMOYE LABELS, CLEAN GLASS SURFACES, AND DUST AND WIPE CLEAN ALL PRODUCTS, MATERIALS, SYSTEMS, FINISHES, EQUIPMENT, AND SURFACES ARCHITECTS DISCLAIMER

  1. THE ARCHITECTS CERTIFICATION OF THE DOCUMENTS IS LIMITED TO THE DOCUMENTS AND THE
- INFORMATION CONTAINED IN THE DOCUMENTS. THE ARCHITECTS CERTIFICATION SHALL NOT EXTEND TO REVISIONS TO THE DOCUMENTS OR REVISIONS IN THE INFORMATION CONTAINED IN THE DOCUMENTS WHERE SUCH REVISIONS WERE NOT PERFORMED AND/OR AUTHORIZED IN WRITING BY THE ARCHITECT
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR REVISIONS TO THE DOCUMENTS OR REVISIONS IN INFORMATION CONTAINED IN THE DOCUMENTS AND WHERE SUCH REVISIONS HAVE BEEN MADE BY OTHERS TO PRODUCTS, MATERIALS, FINISHES, DIMENSIONS, SYSTEMS, ASSEMBLIES, OR AESTHETIC INTENT.

FIRST FLOOR • ELEVATION MARKER

AIOI

REVISION NUMBER SCALE: 1/8" = 1'-0"

NORTH ARROW

EXTERIOR

NUMBER

SHEET

NUMBER

INTERIOR

NUMBER

NUMBER

STANDARD SYMBOLS:

AIOL

Alel

333

NUMBER

SHEET

NUMBER

WALL TAG

DOOR TAG

WINDOW TAG IZ

REVISION CLOUD

## TERMITE PROTECTION:

INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." A COPY SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0' AWAY FROM BUILDING SIDE WALLS.

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES,

- IRRIGATION \$ SPRINKLER SYSTEMS, INCLUDING ALL RISERS AND SPRAY HEADS, SHALL NOT BE INSTALLED WITHIN 1'-O" OF THE BUILDING SIDE WALLS. O PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, CLEARANCE BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES. EXCEPTIONS:
  - PAINT OR DECORATIVE CEMENTIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL.
  - ACCESS OR VEHICLE RAMPS WHICH RISE TO THE INTERIOR FINISH FLOOR ELEVATION FOR THE WIDTH OF SUCH RAMPS ONLY. A 4-INCH INSPECTION SPACE ABOVE PATIO AND GARAGE SLABS AND
- INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAYATION AND BACK FILL IS COMPLETE. SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE
- RETREATED INCLUDING SPACES BOXED OR FORMED. BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC., SHALL BE MADE WITH A PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL
- ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT. MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED.
- CONCRETE OVER POUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURES SIDEWALLS.
- AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED
- ALL BUILDINGS ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT. AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL

SQUARE FOOTAGES

NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING.

#### MAIN HOUSE (HEATED) MAIN LEVEL 2006 SQF1 UPPER LEVEL 1187 SQF1 TOTAL HEATED (HOUSE) 3193 SQF1 GUEST HOUSE (HEATED) MAIN LEVEL ENTRY 191 SQF1 M.I.L. SUITE 103 SQF1 TOTAL HEATED (GUEST HOUSE) 894 SQF1 COYERED/UNHEATED RAISED CRAWL SPACE 1736 SQFT DETACHED GARAGE 576 SQF1 OUTDOOR LIVING 529 SQF1

ENTRY/PORCH

TOTAL ROOFED AREA

**MATERIAL LEGEND:** 

STRUCTURAL

PLYWOOD

CONCRETE

BRICK

RIGID INSULATION

TOTAL

## 2018 SC RESIDENTIAL CODE

R-3: SINGLE FAMILY

CITY OF CHARLESTON APPLICABLE CODES 2009 INTERNATIONAL ENERGY CONSERVATION CODE 2011 NATIONAL ELECTRICAL CODE (NFPA 10) 2018 SOUTH CAROLINA BUILDING CODE 2018 SOUTH CAROLINA EXISTING BUILDING CODE 2018 SOUTH CAROLINA FUEL GAS CODE 2018 SOUTH CAROLINA FIRE CODE 2018 SOUTH CAROLINA MECHANICAL CODE

2018 SOUTH CAROLINA PLUMBING CODE 2018 SOUTH CAROLINA RESIDENTIAL CODE 2018 SWIMMING POOL AND SPA CODE

2017 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (EFFECTIVE JUNE 1, 2017)

#### ZONING INFORMATION

OCCUPANCY:

100 FARMFIELD AVENUE SITE ADDRESS CHARLESTON, SC 29401 CITY OF CHARLESTON

BASE ZONING DESIGNATION

OYERLAY ZONING SHORT-TERM RENTAL CATEGORY: SR CAT 3

FEMA FLOOD ZONE AE - 10 | NAVD88

FREEBOARD 2'-0" FREEBOARD

1.04 ACRES / 45,302.4 SQ. FT MINIMUM LOT AREA 9.000 SF

#### MINIMUM YARDS FRONT

YARD

EXCEPTION: THE FRONT BUILDING LINE OF ANY PROPOSED BUILDING MAY BE AS CLOSE TO THE STREET AS THE FRONT BUILDING LINE OF THE NEXT ADJACENT BUILDING ON THE SAME SIDE OF THE SAME STREET, EITHER TO THE

RIGHT OR TO THE LEFT, WHICHEVER IS CLOSER TO THE STREET

#### SIDE

EXCEPTION: A PROPOSED BUILDING OR BUILDINGS ON ANY CORNER LOT MAY OCCUPY WITH RESPECT TO A SIDE STREET LINE THE SAME RELATIVE POSITION ON SUCH LINE AS A BUILDING REMOVED THEREFROM WITHIN THE PRECEDING TWELVE MONTHS; PROVIDED, NO FENCE, WALL, SHRUBBERY, SIGN, MARQUEE, OR OTHER OBSTRUCTION EXISTS WITHIN THE VISION CLEARANCE ZONE (SEE SECTION 54-351).

### YARD

EXCEPTION: NOTWITHSTANDING THE SETBACK REQUIREMENTS OF THIS CHAPTER FOR RESIDENTIAL ZONING DISTRICTS, A REAR RESIDENTIAL BUILDING YARD SETBACK AS THE EXISTING BUILDING ONTO WHICH THE ADDITION IS ATTACHED. PROVIDED THAT THE LENGTH OF THE ADDITION DOES NOT EXCEED A DISTANCE GREATER THAN FIFTY PERCENT (50%) OF THE LENGTH OF THE EXISTING BUILDING, AND THAT THE ADDITION MEETS OTHER APPLICABLE ZONING REQUIREMENTS.

## MAXIMUM LOT

365 SQFT

3206 SQFT

7293 SQFT

GYP. BD.

BLOCKING

LUMBER

FINISH WOOD

# # GLASS

CMU

35% OR 15,855.84 SQ FT.

# MAXIMUM HEIGHT:

MAXIMUM HEIGHT OF STRUCTURES IN THE SR-I DISTRICT IS 35 FEET OR 2-1/2 STORIES.

#### EXCEPTIONS:

IN ANY CONSERVATION, RR-1, SR-1, SR-2, SR-6, SR-7 AND STR ZONING DISTRICT, THE HEIGHT OF A DWELLING MAY BE INCREASED TO FORTY (40) FEET, BUT NOT EXCEED 21/2 STORIES, PROVIDED THAT THE WIDTH OF EACH SIDE YARD REQUIRED BY TABLE 3.1 FOR THE DISTRICTS IN WHICH THE BUILDING IS LOCATED IS INCREASED A DISTANCE EQUAL TO AT LEAST TWO TIMES THE ADDED HEIGHT OF THE BUILDINGS ABOVE THE THIRTY-FIVE (35) FOOT LIMITATION OF THE DISTRICT, PROPERTIES IN THE CONSERVATION, RR-1, SR-1 SR-2. SR-6, SR-1 AND STR ZONING DISTRICTS LOCATED WITHIN A FLOOD INSURANCE RATE MAP (FIRM) SPECIAL FLOOD HAZARD AREA SHALL BE PERMITTED TO HAVE DWELLINGS WITH A MAXIMUM HEIGHT, NOT TO EXCEED FORTY-SEVEN (47) FEET OR 21/2 STORIES, WHICHEVER IS LESS, BASED ON THE FOLLOWING FORMULA: (FIRM BASE FLOOD ELEVATION + TWO FEET OF ADDITIONAL

## <u>HEIGHT</u> CALCULATION:

13'-0" (FIRM BFE) + 2'-0" - 6'-1 1/2" (CURB) + 35'-0" = 43'-10 1/2" MAXIMUM BUILDING HEIGHT

FREEBOARD - LOWEST CURB LINE ELEVATION ADJACENT

# PROJECT LOCATION MAP:

TO THE SITE + 35).







## **DRAWING INDEX:**

## ARCHITECTURE

COVER SHEET A0.1 PROJECT INFORMATION SITE PLAN ENLARGED SITE PLAN A2.0 RAISED CRAWL SPACE MAIN LEVEL UPPER LEVEL A2.2 A2.3 ATTIC LEVEL A2.4 DETACHED GARAGE

A3.0 ROOF PLAN RAISED CRAWL SPACE RCP **A4.1** MAIN LEVEL RCP **A4.2** UPPER LEVEL RCP

**A4.3** ATTIC LEVEL RCP DETACHED GARAGE RCP A5.0 EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS

A5.2 EXTERIOR ELEVATIONS - DETACHED GARAGE A6.0 BUILDING SECTIONS

A6.1 BUILDING SECTIONS

A6.2 BUILDING SECTIONS - DETACHED GARAGE

A6.3 WALL SECTIONS

## PROJECT DESIGN TEAM:

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CIVIL ENGINEER

MEP ENGINEER

# PROJECT SUMMARY:

RESIDENCE TO BE CONSTRUCTED ON AN EXISTING 1.04 ACRE SINGLE FAMILY LOT LOCATED AT 100 FARMFIELD AVENUE IN THE CITY OF CHARLESTON, SC. THE LOT IS YACANT AND ALL SITE UTILITIES ARE EXISTING. THE PROJECT INCLUDES AN APPROXIMATELY 3,930 SQUARE FOOT, HEATED, NEW SINGLE FAMILY RESIDENCE THAT CONFORMS TO THE SR-1 ZONING DISTRICT, AS WELL AS POOL AND HARDSCAPE AREAS (SEE LANDSCAPE ARCHITECTURE DRAWINGS FOR POOL \$ HARDSCAPE DETAILS). THE HOUSE INCLUDES AN OPEN LIVING! DINING! KITCHEN AREA, AN OFFICE, A LOFT, 4 BEDROOMS, 3 FULL BATHS AND 1 HALF BATHS, AN OUTDOOR LIVING AREA, A GARAGE BELOW, AND A DETACHED GARAGE WITH A SMALL APARTMENT

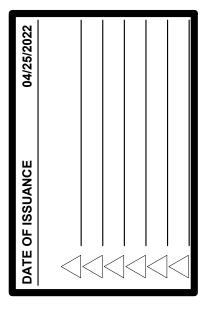
THIS IS A PERMIT APPLICATION FOR A SINGLE FAMILY





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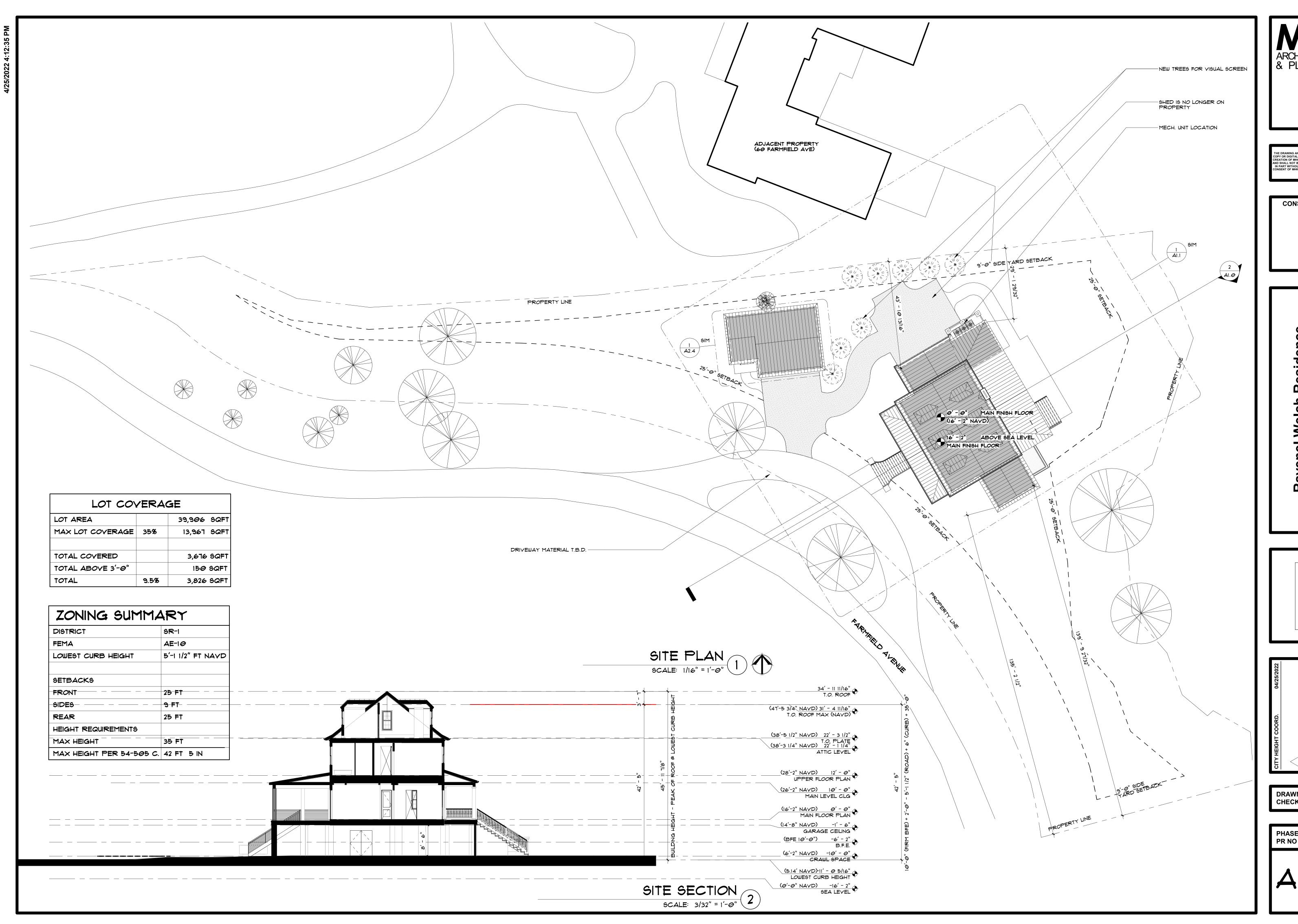
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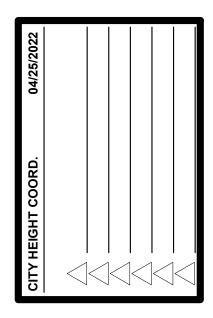
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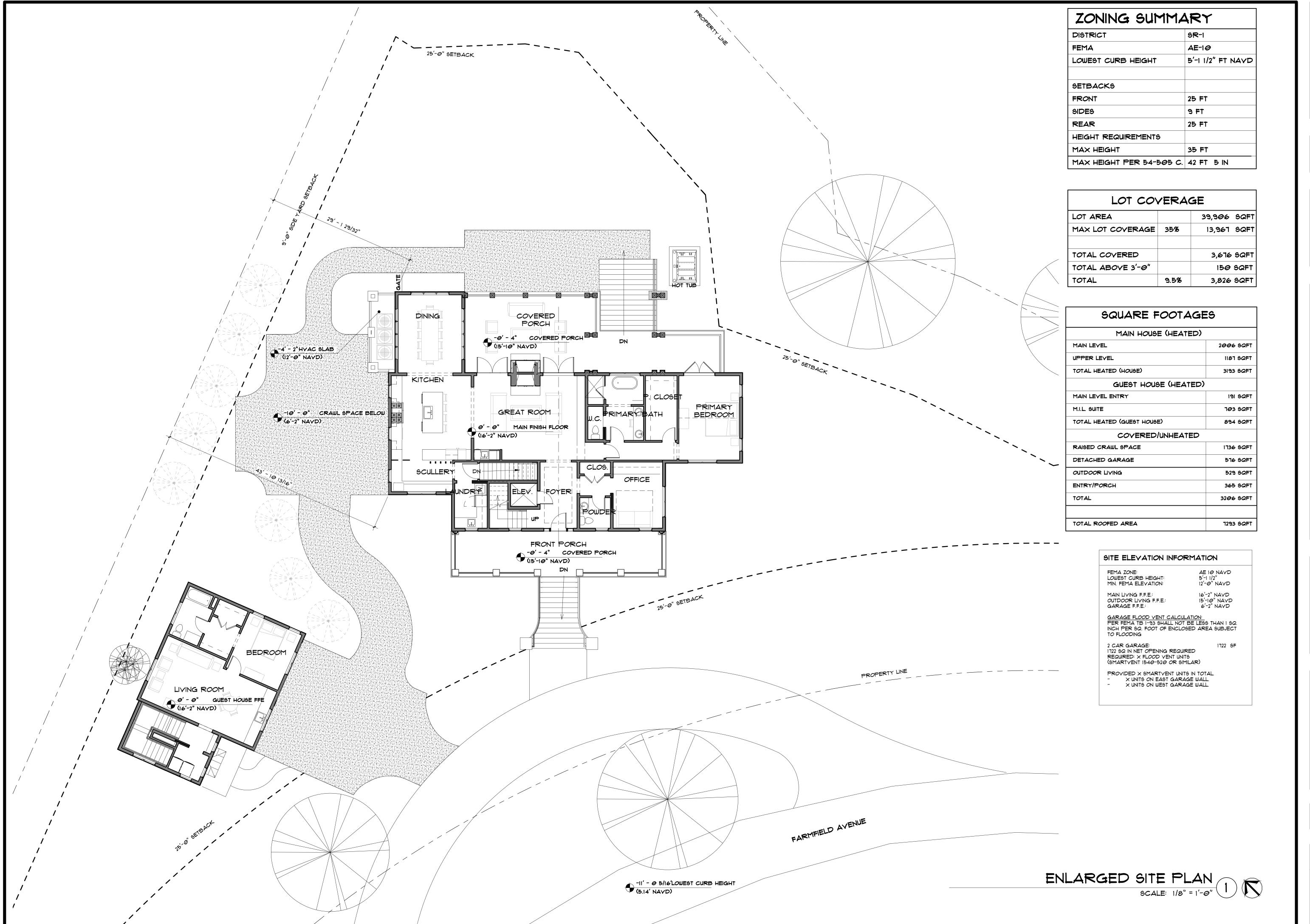


CONSULTANT:

avenel Welch Residence  $\mathbf{C}$ 



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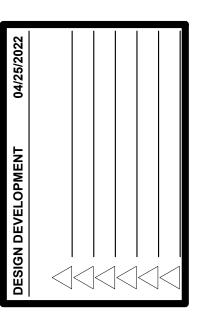


**60 BROAD STREET** CHARLESTON, SC 29401 PHONE: (843)203-6025 WWW.MHKAP.COM

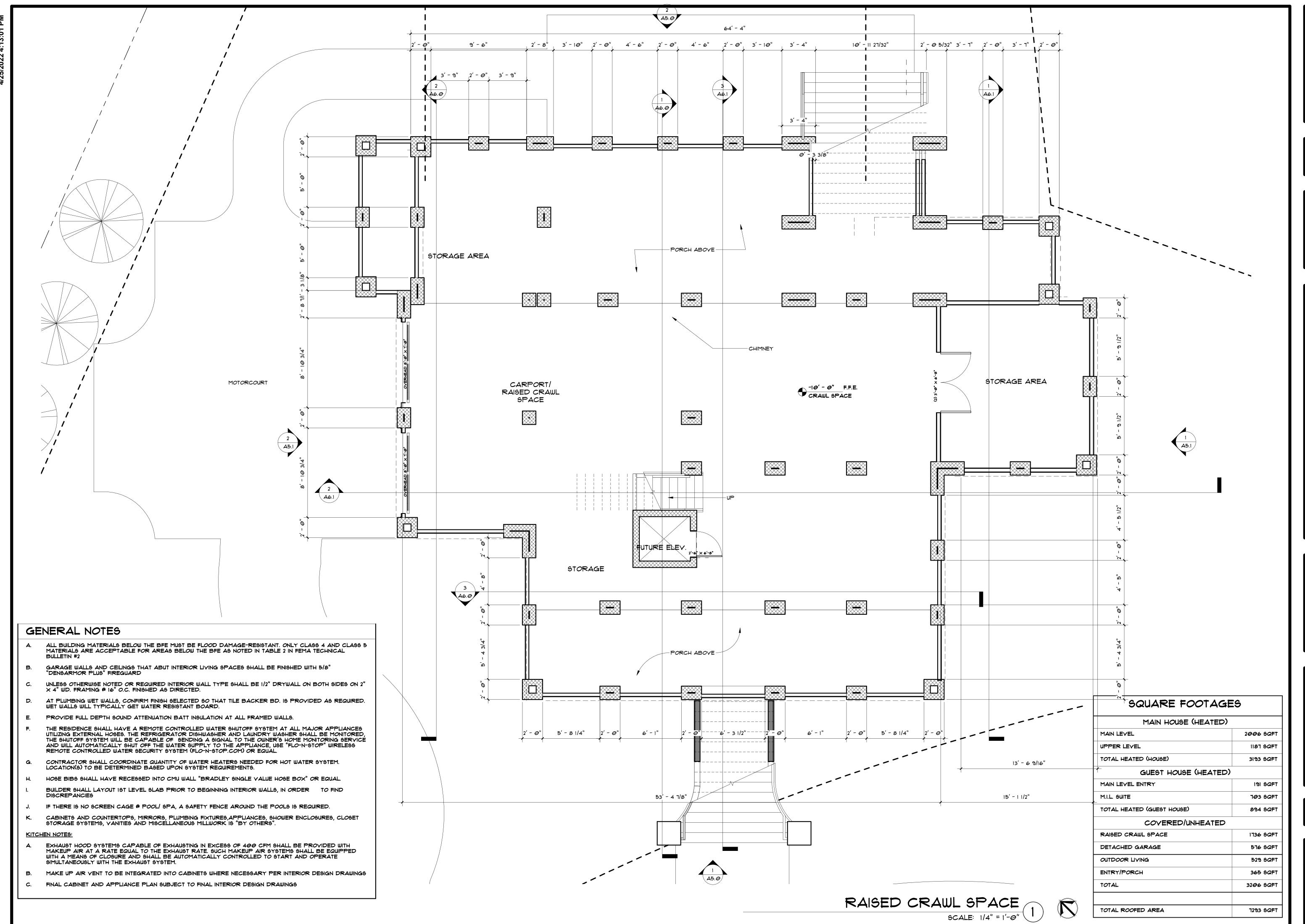
THE DRAWING AND DESIGN WITHIN THIS HARD COPY OR DIGITAL FILE IS THE PROPERTY AND CREATION OF MHK ARCHITECTURE & PLANNING AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF MHK ARCHITECTURE & PLANNING.

CONSULTANT:

avenel Welch Residence



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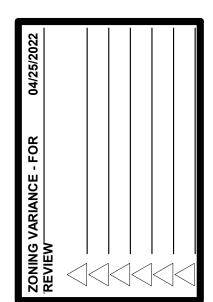
& PLANNING

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enel Welch Residence FARMFIELD AVENUE 300 00



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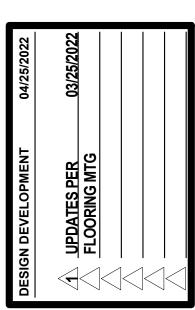
PHASE PR NO 21357



CONSULTANT:

Ravenel Welch Residence

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PHASE DD PR NO 21357

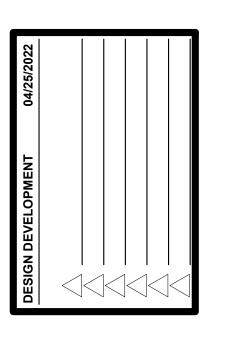
**A**2.1





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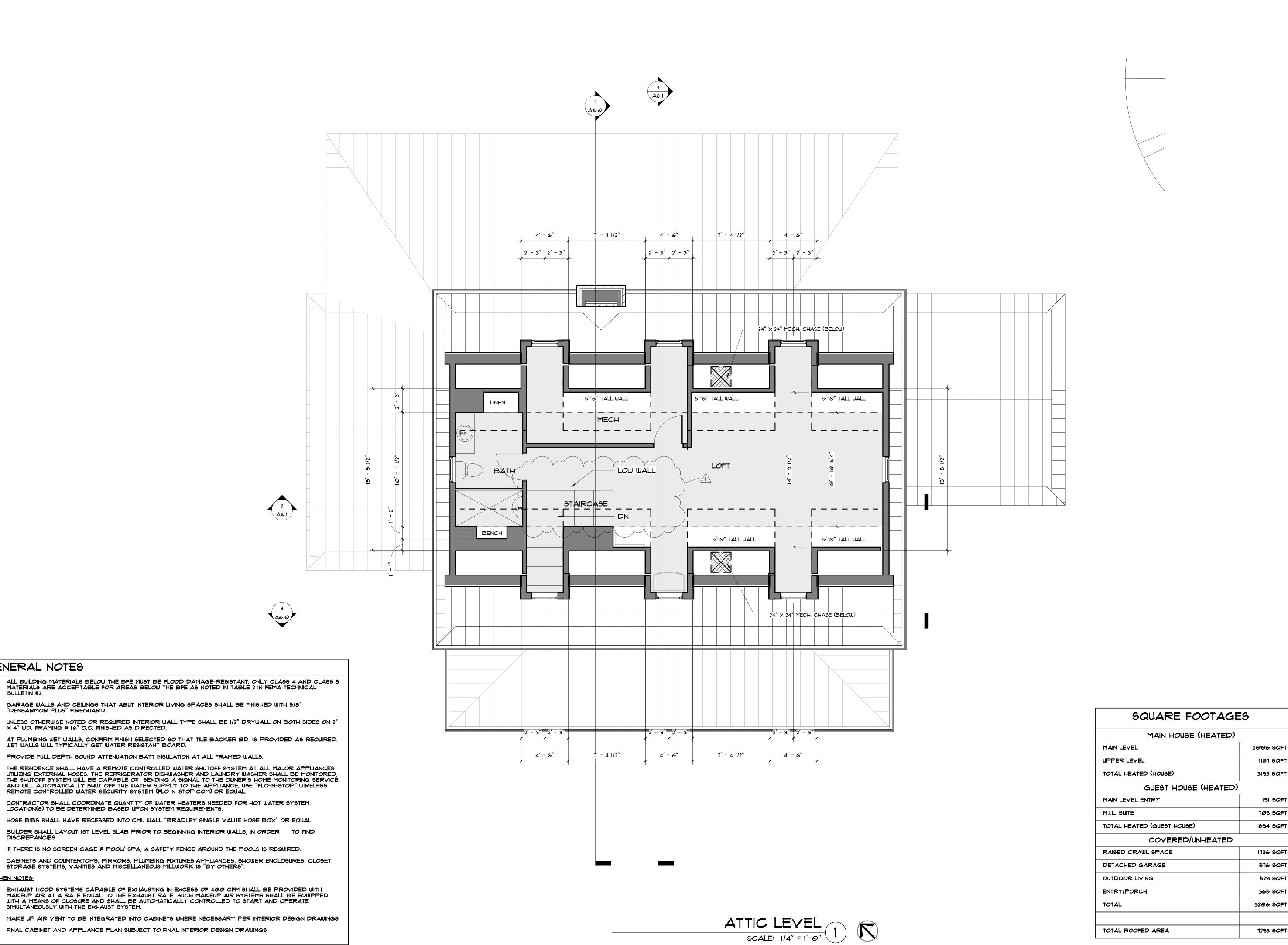
GENERAL NOTES

DISCREPANCIES

X 4" WD. FRAMING @ 16" O.C. FINISHED AS DIRECTED.

SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.

WET WALLS WILL TYPICALLY GET WATER RESISTANT BOARD.



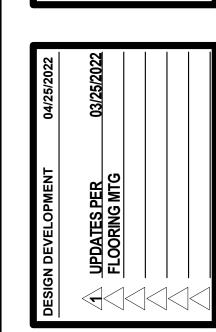
ARCHITECTURE & PLANNING

**60 BROAD STREET** CHARLESTON, SC 29401 PHONE: (843)203-6025 WWW.MHKAP.COM

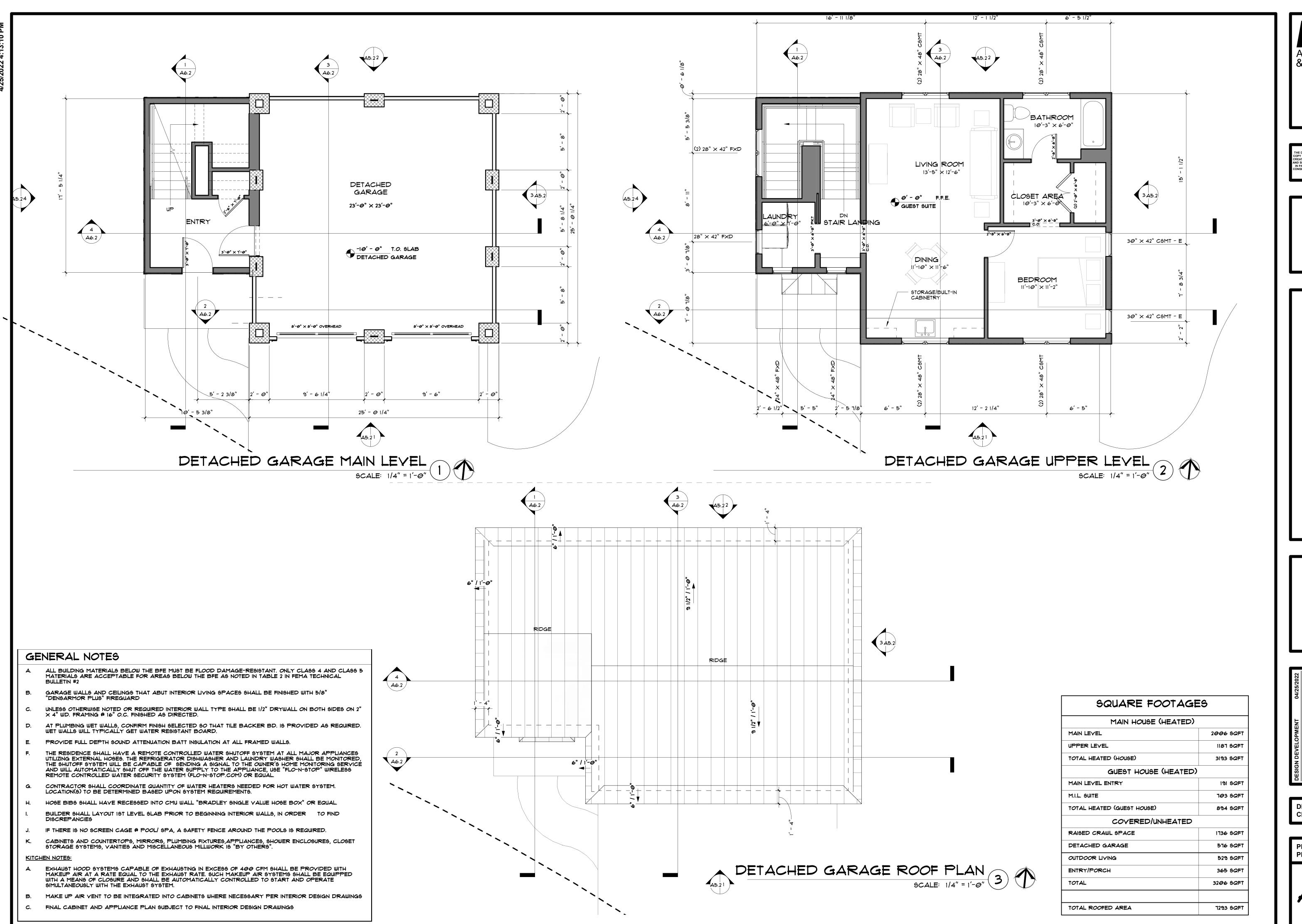
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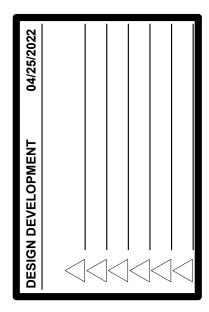




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Ravenel Welch Residence 100 FARMFIELD AVENUE

CONSTRUCTION

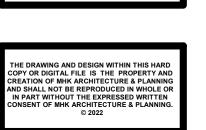


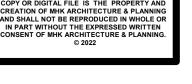
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A2.4





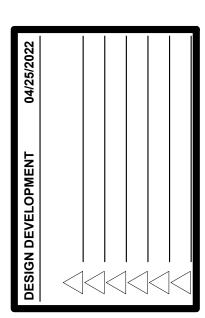




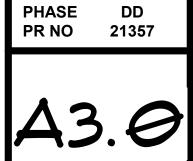


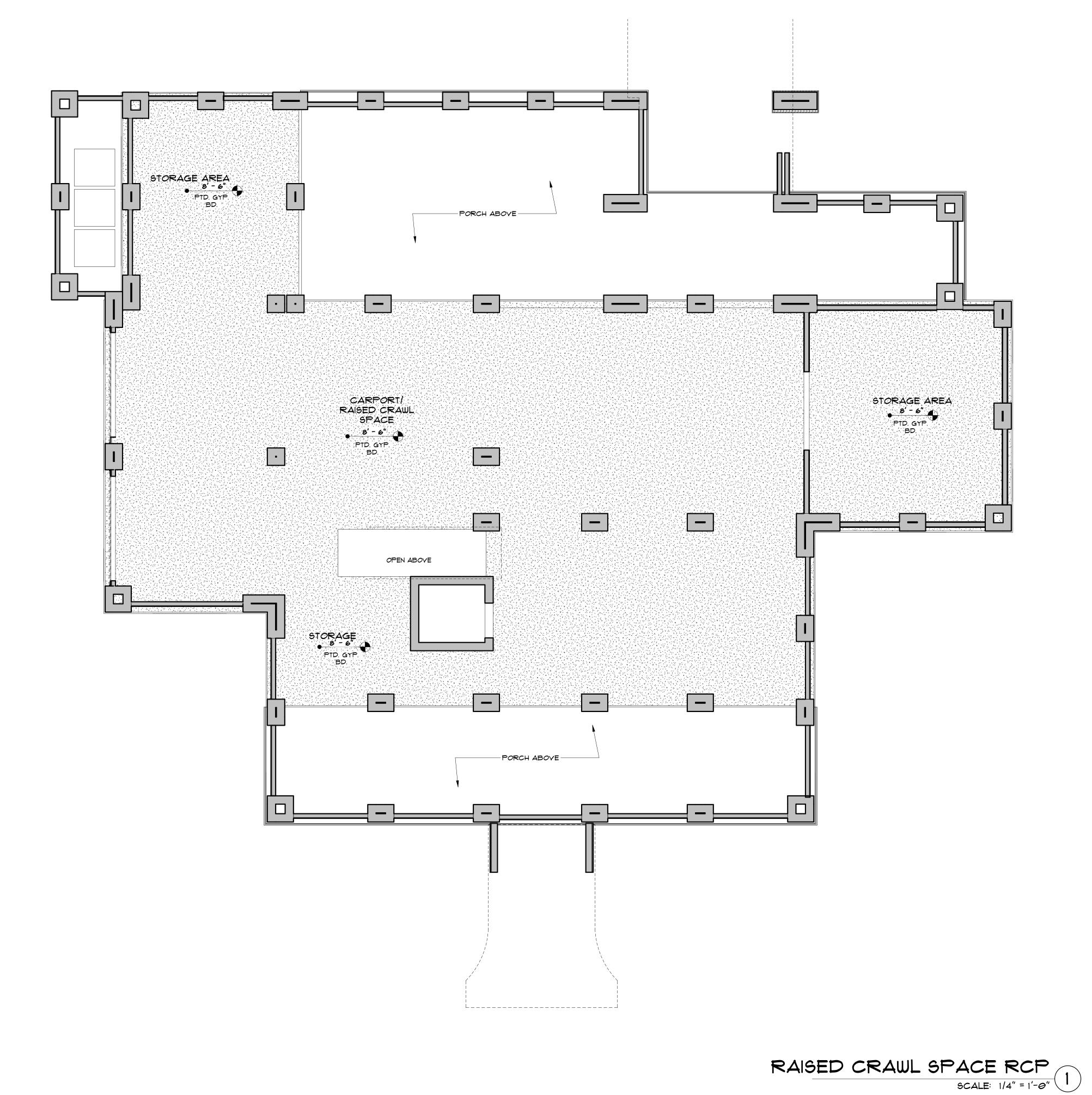












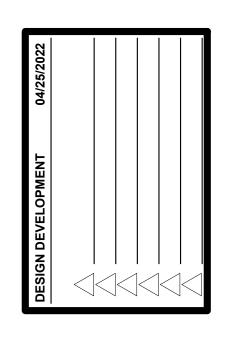
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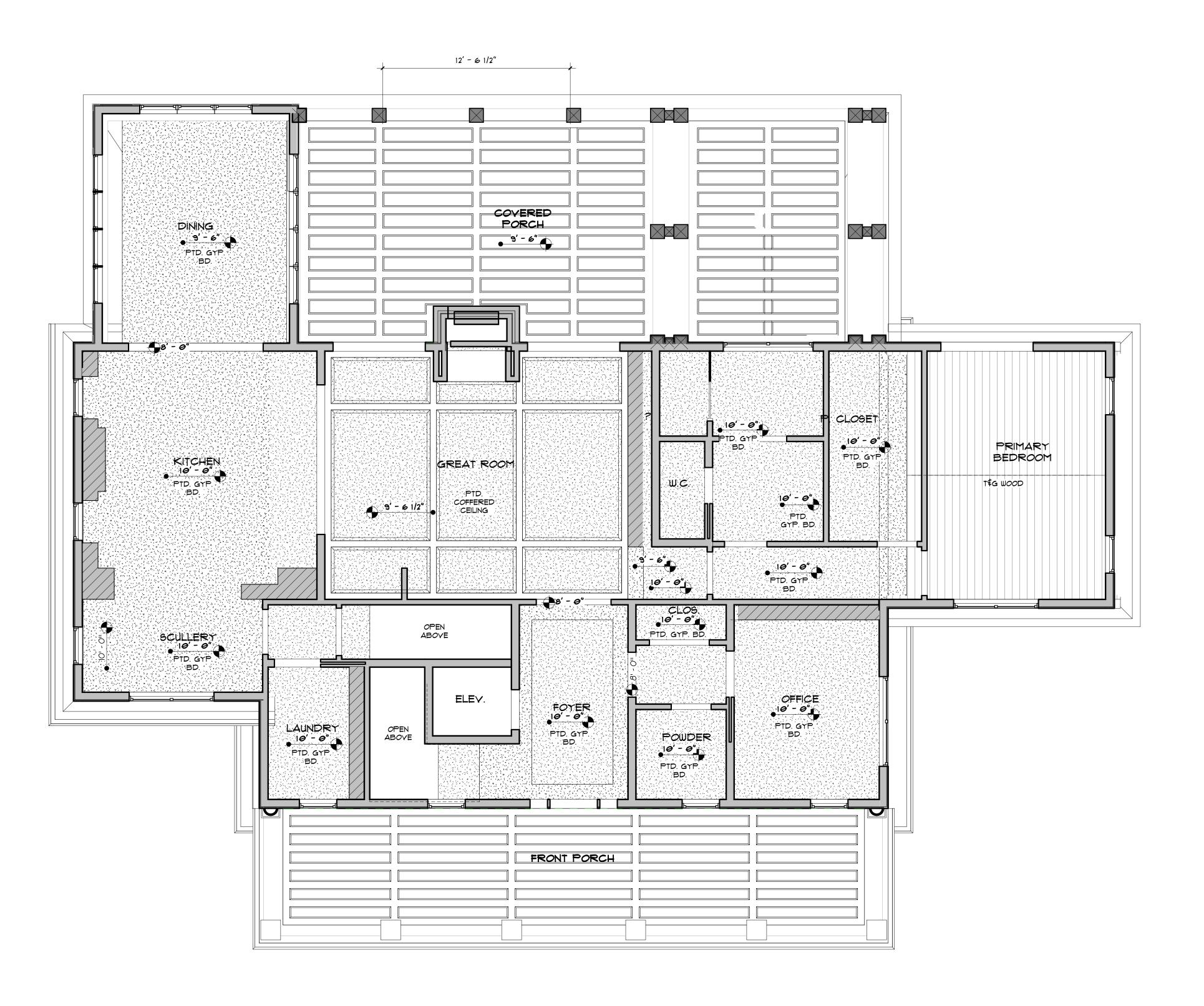
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MAIN FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

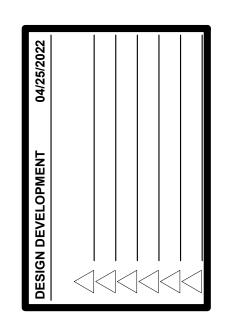
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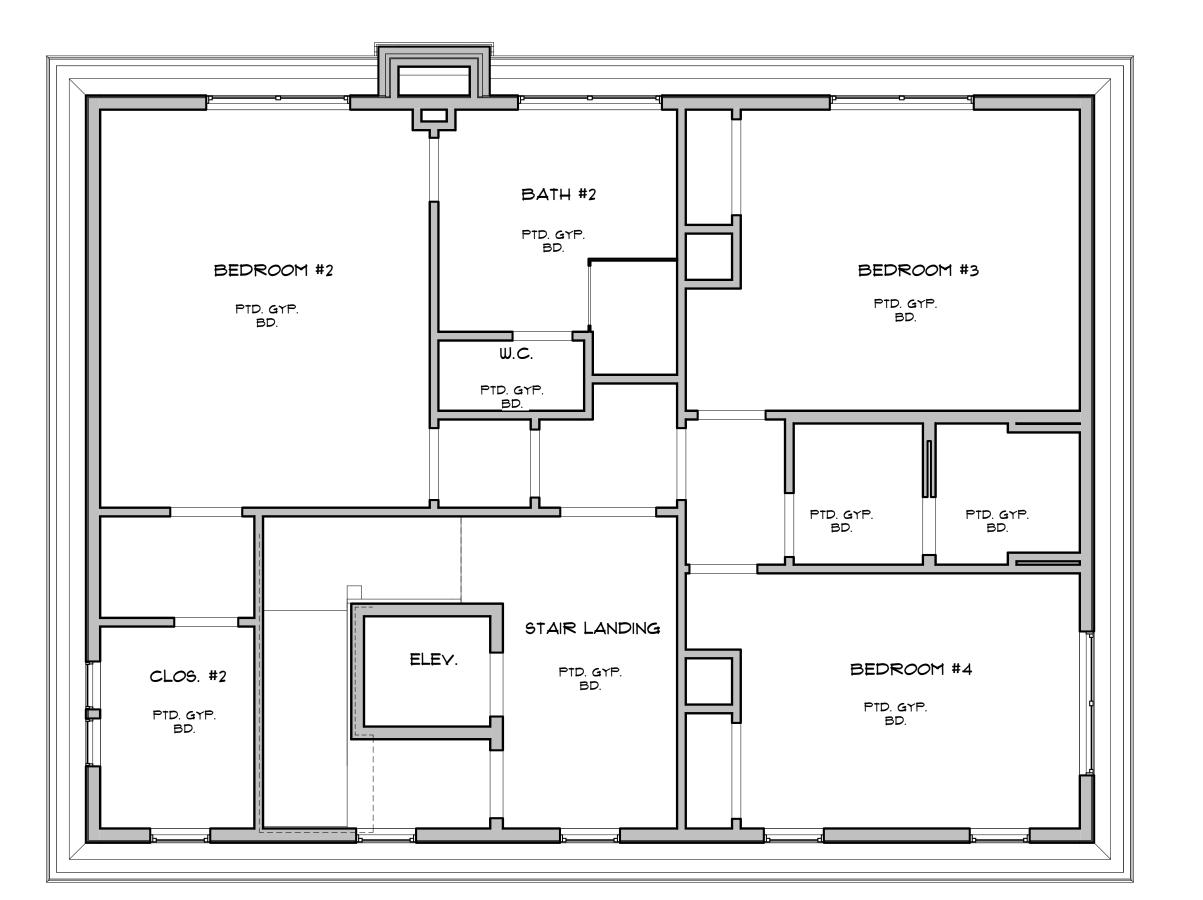
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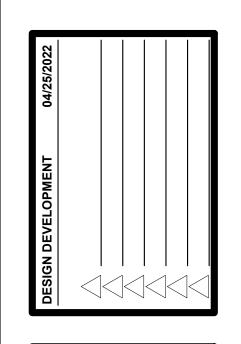
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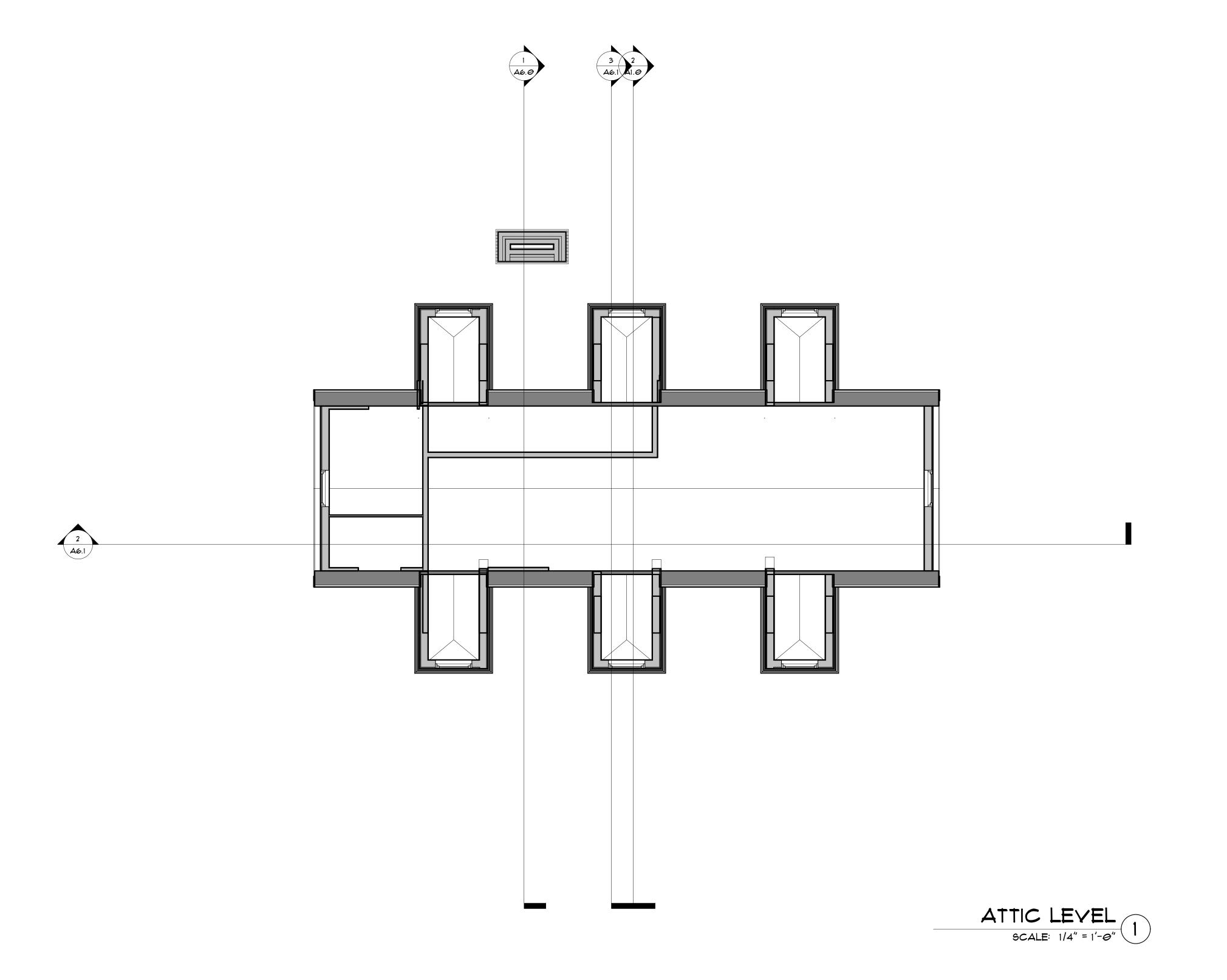
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UPPER FLOOR PLAN

SCALE: 1/4" = 1'-@"

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**A**4.2



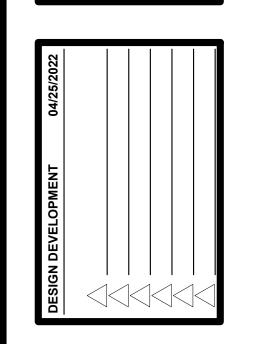


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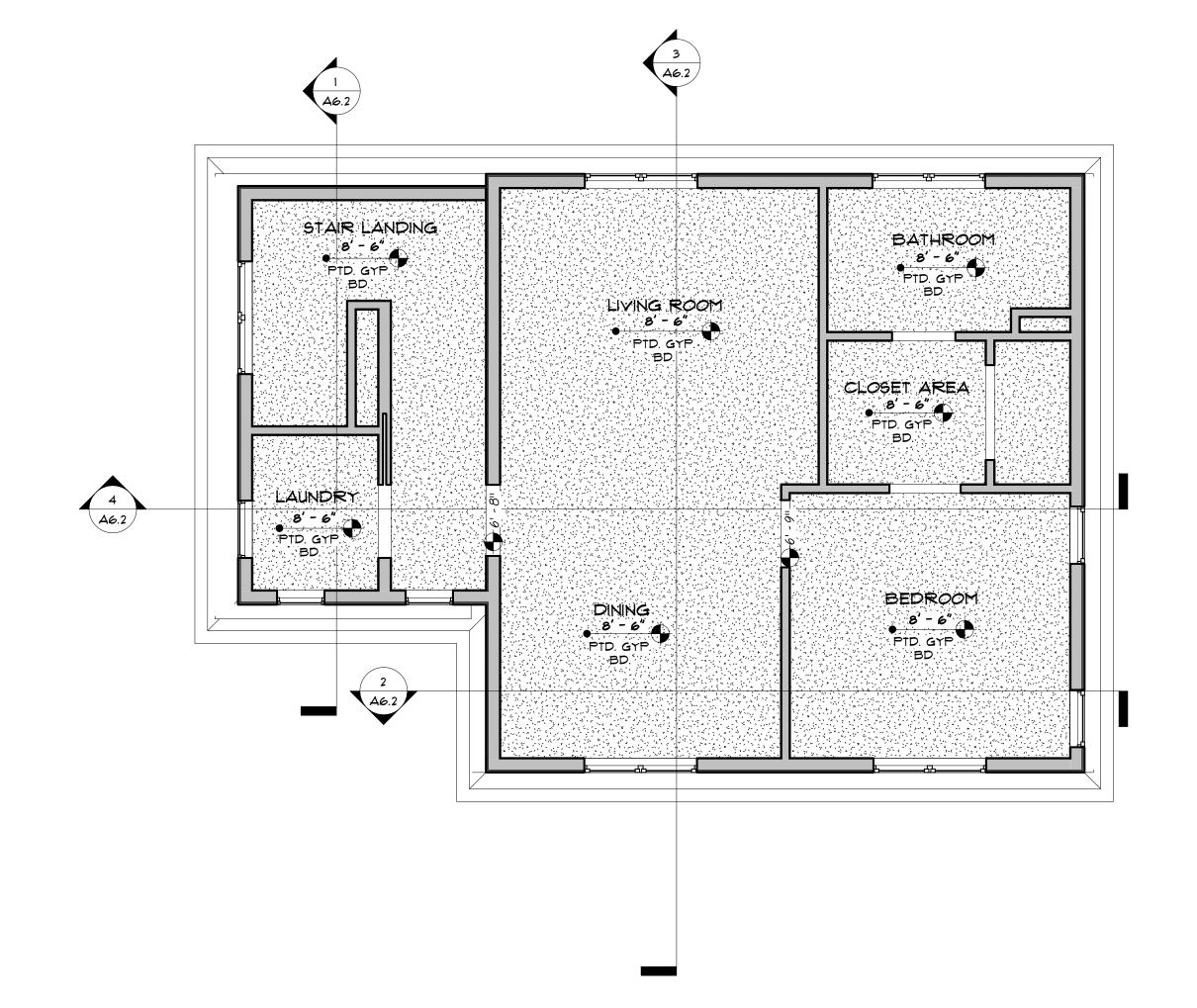


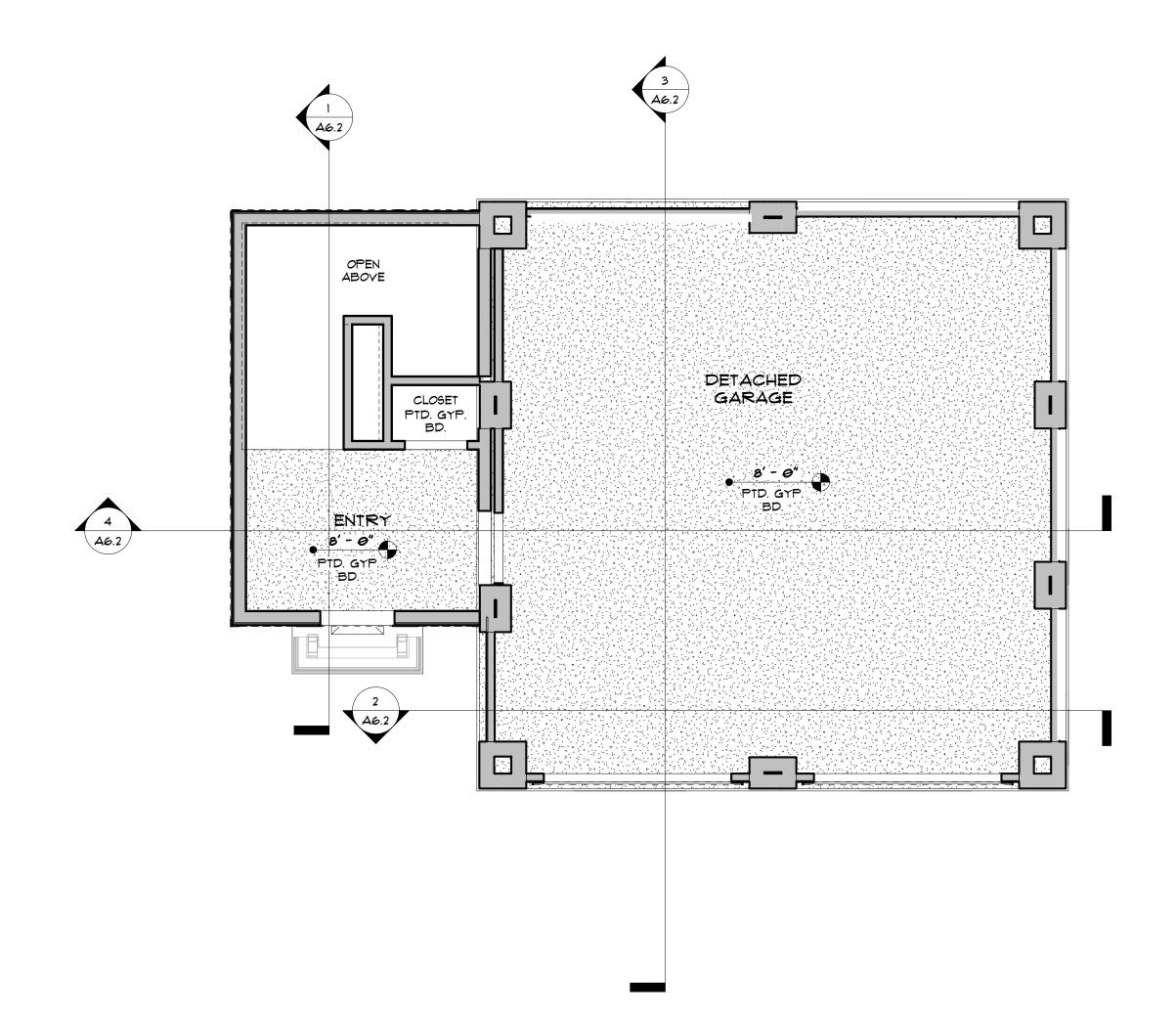
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DETACHED GARAGE UPPER LYL RCP

SCALE: 1/4" = 1'-0"

2

DETACHED GARAGE MAIN LVL RCP

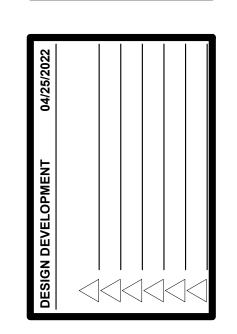
9CALE: 1/4" = 1'-0"

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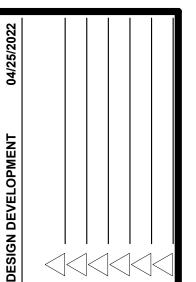
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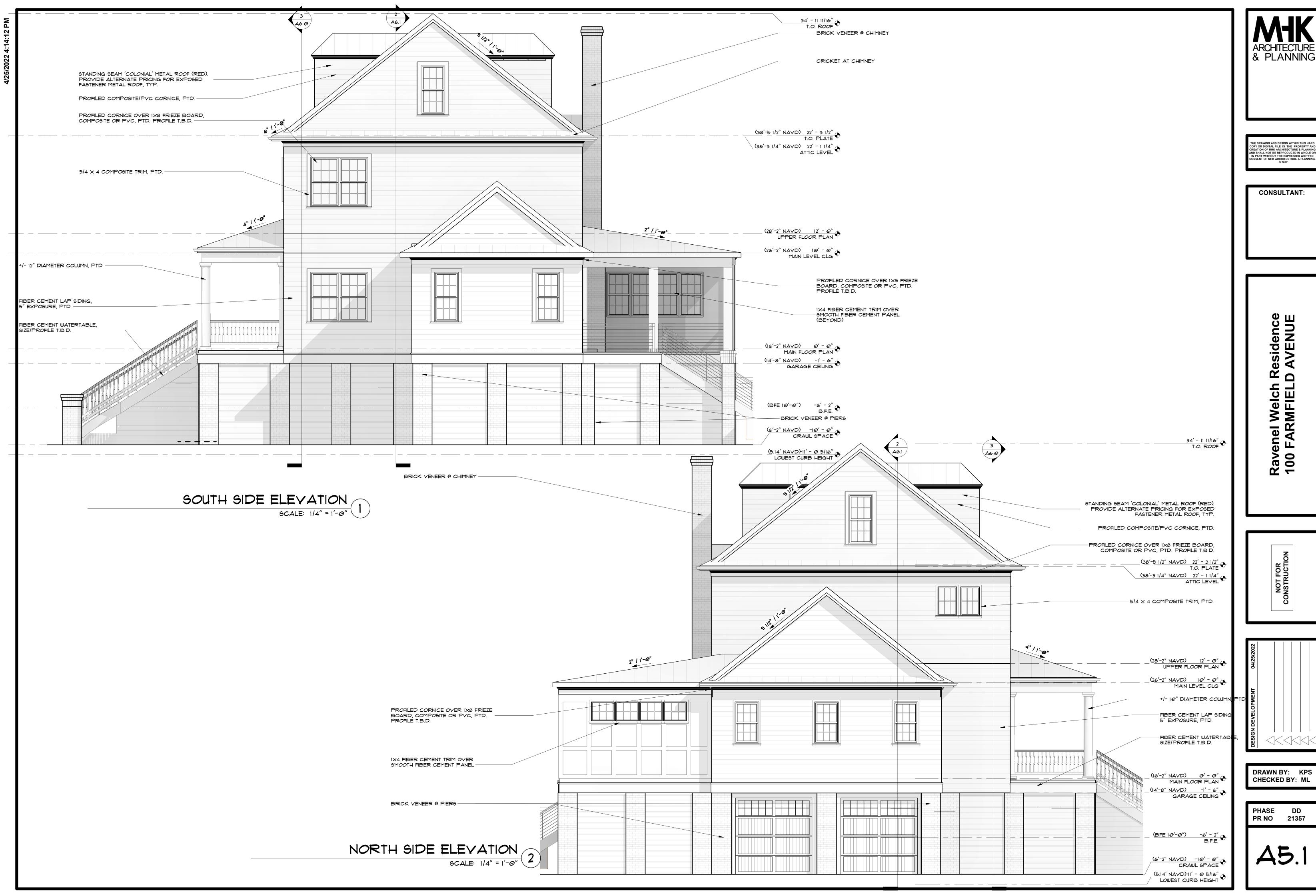


DRAWN BY: Author CHECKED B\Checker

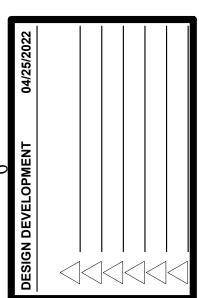










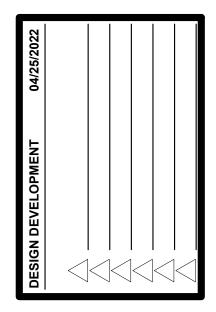




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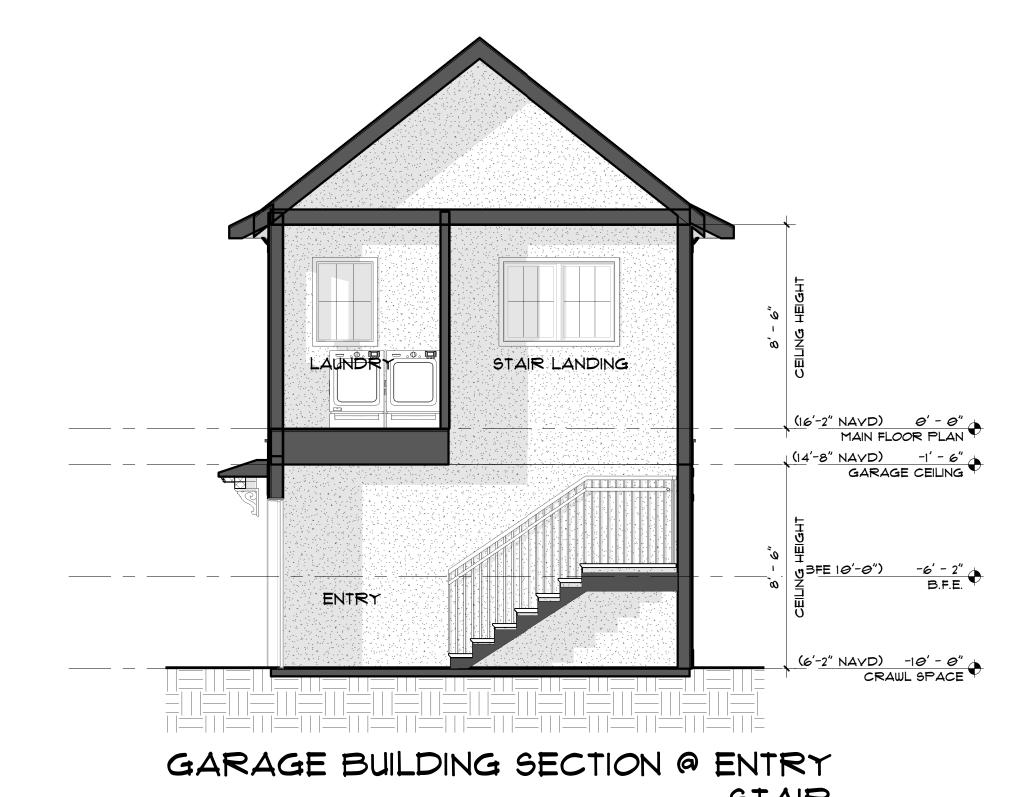


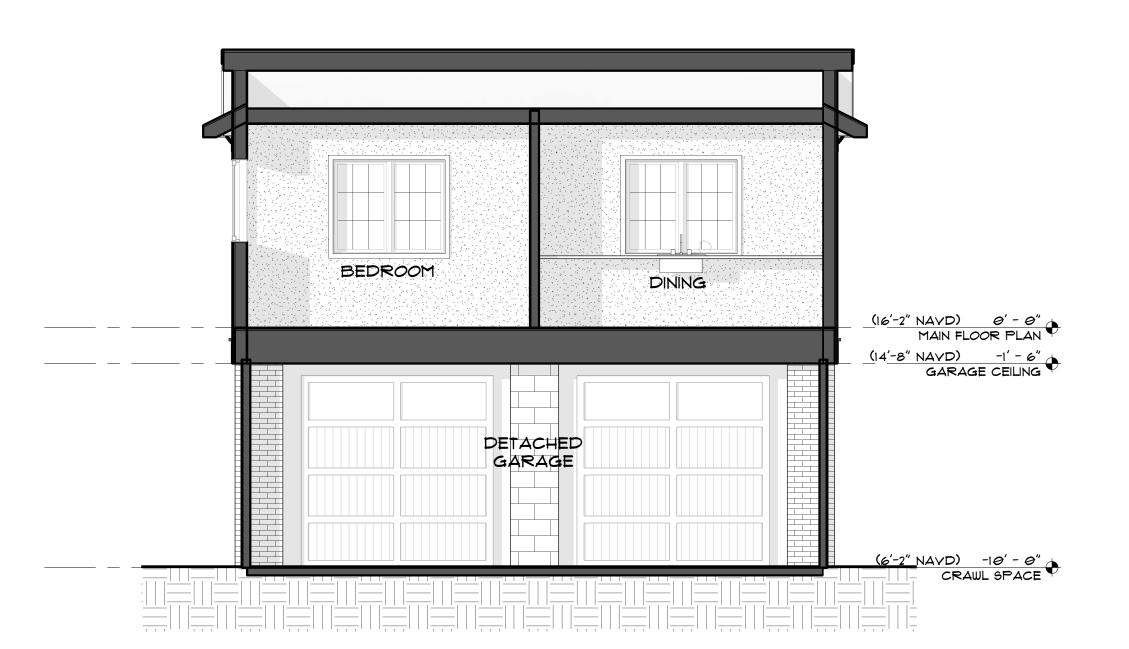
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**45.2** 







GARAGE BUILDING SECTION @ KITCHEN

SCALE: 1/4" = 1'-@" 2

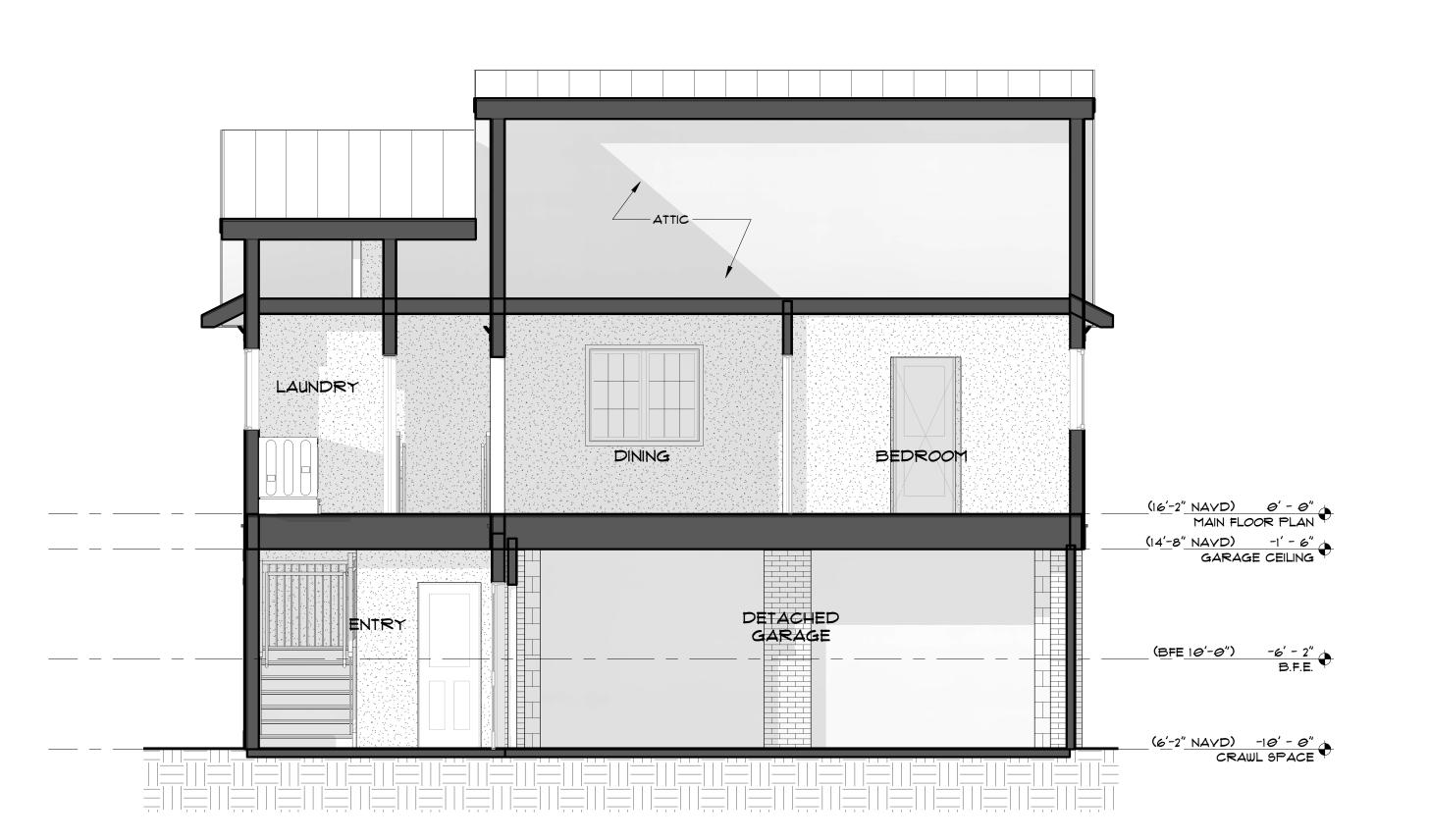


GARAGE BUILDING SECTION @

LIVING/KITCHEN

SCALE: 1/4" = 1'-0"

3



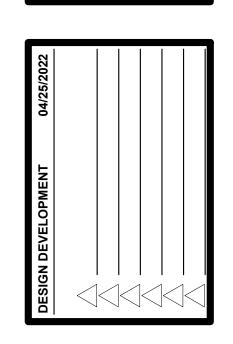
GARAGE BUILDING SECTION @ ENTRY

SCALE: 1/4" = 1'-@"

4

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