



RENDERINGS

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See Landscape Plan for Details
No Scale



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Pendium Group, LLC
4265 Duck Club Rd., Ravenel, SC 29470
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**Design
Development**

2405 Rushland Plantation
Drive
Johns Island, SC 29455

Project Planning Statistics

TMS: 242-00-00-067
Zoning: PUD

LOT SIZE:	21952 SF (0.504 Acre)
IMPERVIOUS AREA:	4911 SF (25.2% of Highland)
BLDG. FOOTPRINT:	2650 SF
TOTAL AREA UNDER ROOF:	5922 SF
LIVABLE AREA:	3022 SF
MAIN:	2222 SF
SECOND:	800 SF
PORCHES:	497 SF
GARAGE:	2168 SF
PATIO/DECKS:	165 SF
DRIVES & WALKS:	2261 SF

Project Contacts

Owner:
Pendium Group, LLC.
Tom Wingard (Main Contact):
Ph: 843 458-4601 tom@pendium.com | 4265 Duck Club Rd Ravenel SC 29470

General Contractor:
Pendium Group, LLC.
Tom Wingard (Project Coordination Main Contact):
Ph: 843 458-4601 tom@pendium.com | 4265 Duck Club Rd Ravenel SC 29470

Architectural Firm & Construction Management:
Pendium Group, LLC Architecture Firm #101636
Tom Wingard (Main Contact) GC #G121762, CCM #1046
Ph: 843 458-4601 tom@pendium.com | 4265 Duck Club Rd Ravenel SC 29470
Ahmad M Al-Shemmeri, NCARB (Architect) SC-AR #10394
Ph: 843 405-7055 ahmad@pendium.com | 4265 Duck Club Rd Ravenel SC 29470

Landscape Design:

Residential Structures, PC:
Cory Munson, PE
Ph: 843 406-7174 Cory@residentialstructurespc.com
930 Folly Rd Charleston, SC 29412

Sources:
Palmetto Land Surveying, Inc
Jason Penington
Ph: 843-571-5191 plsoffice@palmettols.com
2065 Savannah Highway Ste 2 Charleston, S.C. 29407

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Drawings below completed by other entities and were not under the supervision of Pendium Group or the design professional in responsible charge:

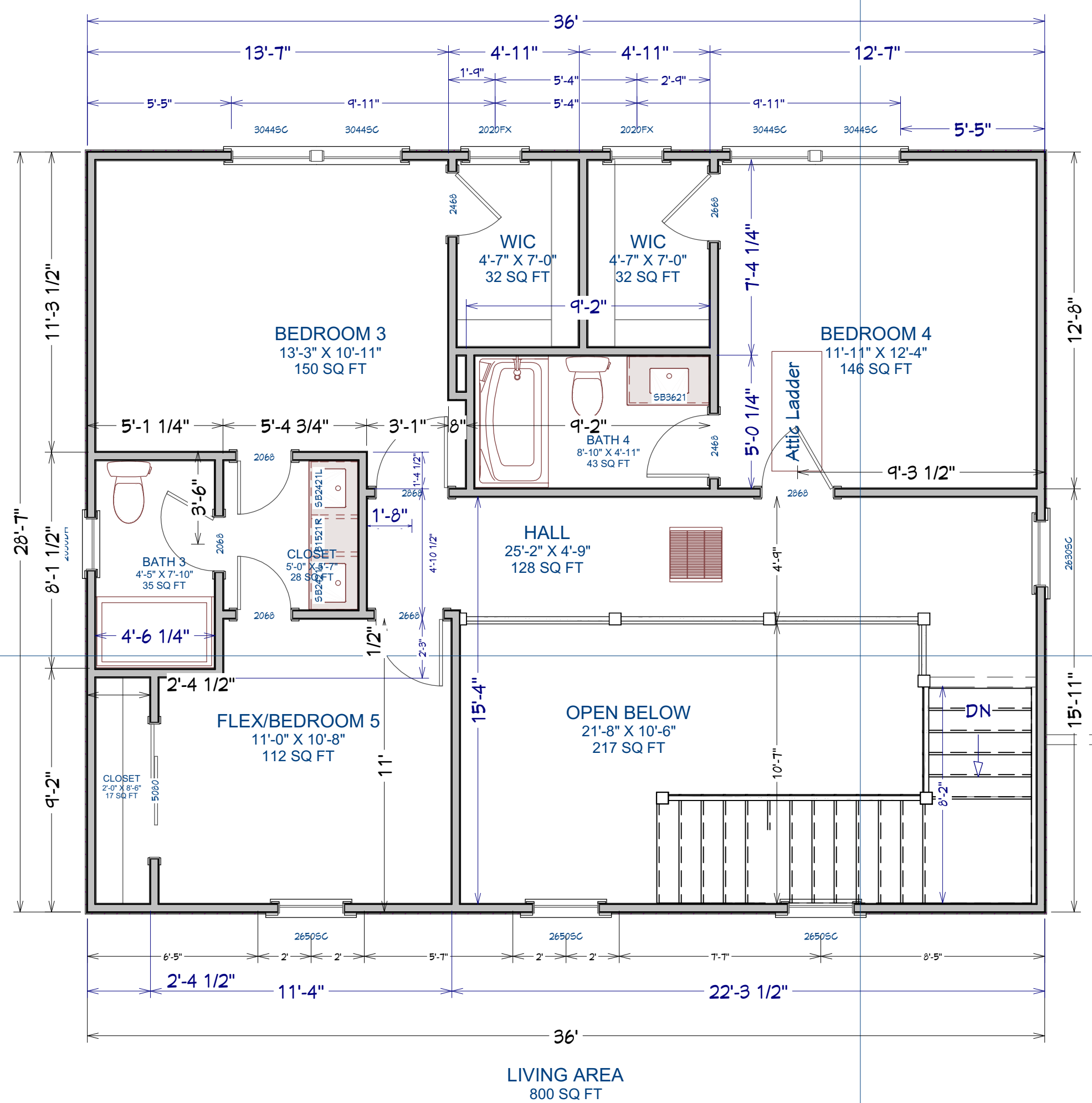
LANDSCAPING	L100
STRUCTURAL DRAWINGS	tbd
STRUCTURAL DETAILS	tbd

Project Overview

DATE:
12/14/2021

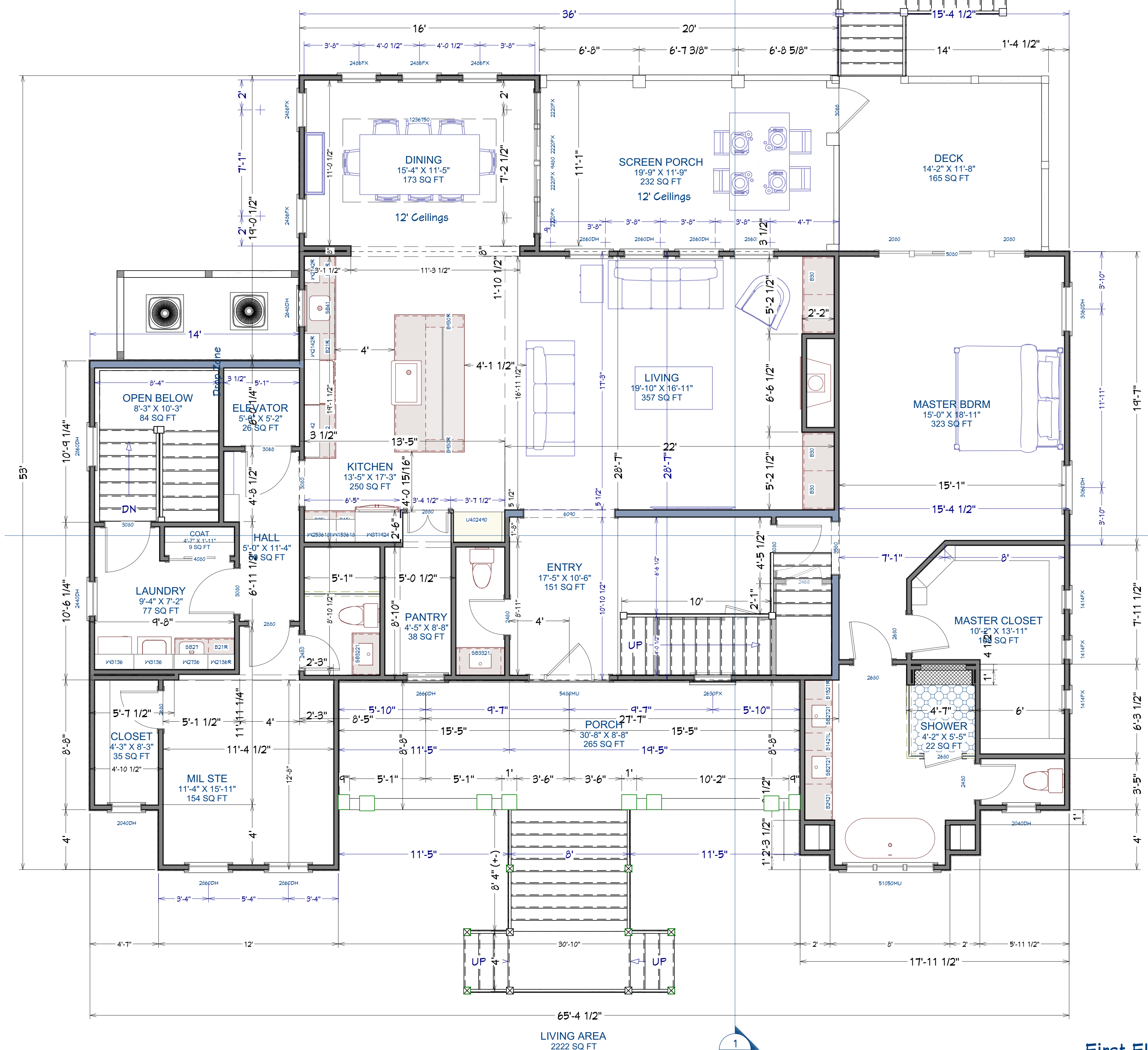
SHEET:

A1



Second Floor Plan

Scale: 1/4" = 1'



First Floor Plan

Scale: 1/4" = 1'



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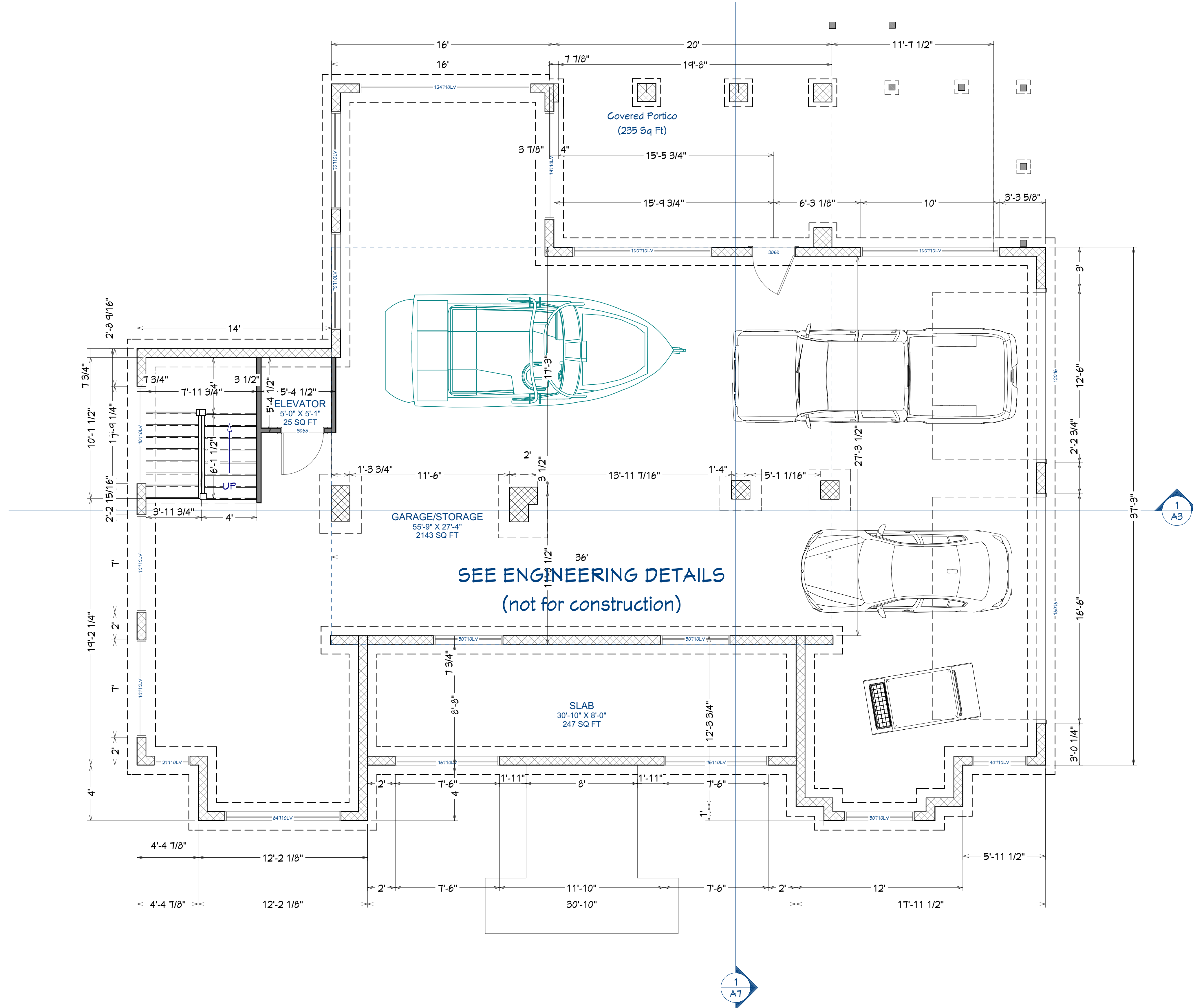
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First Floor Plan

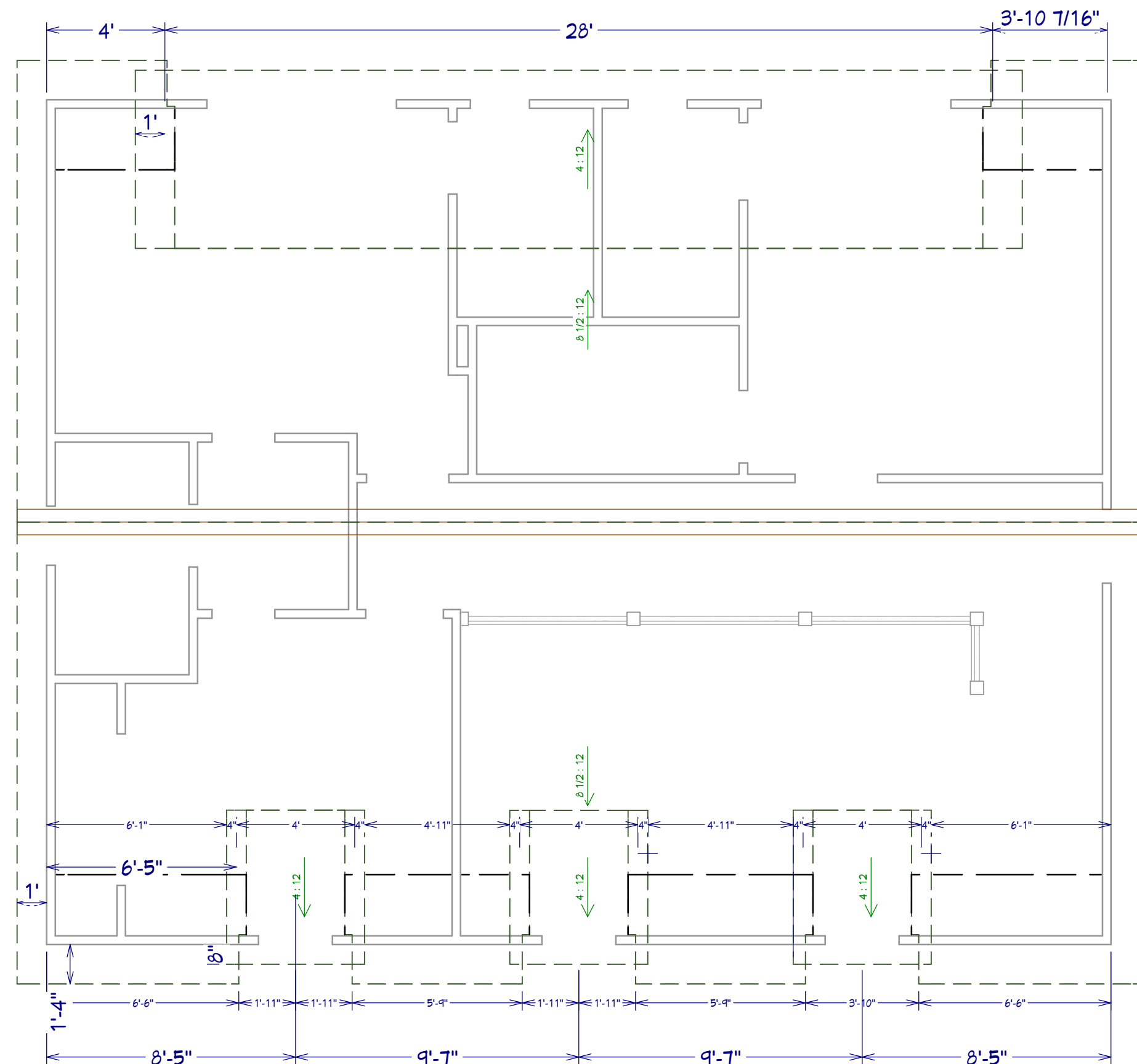
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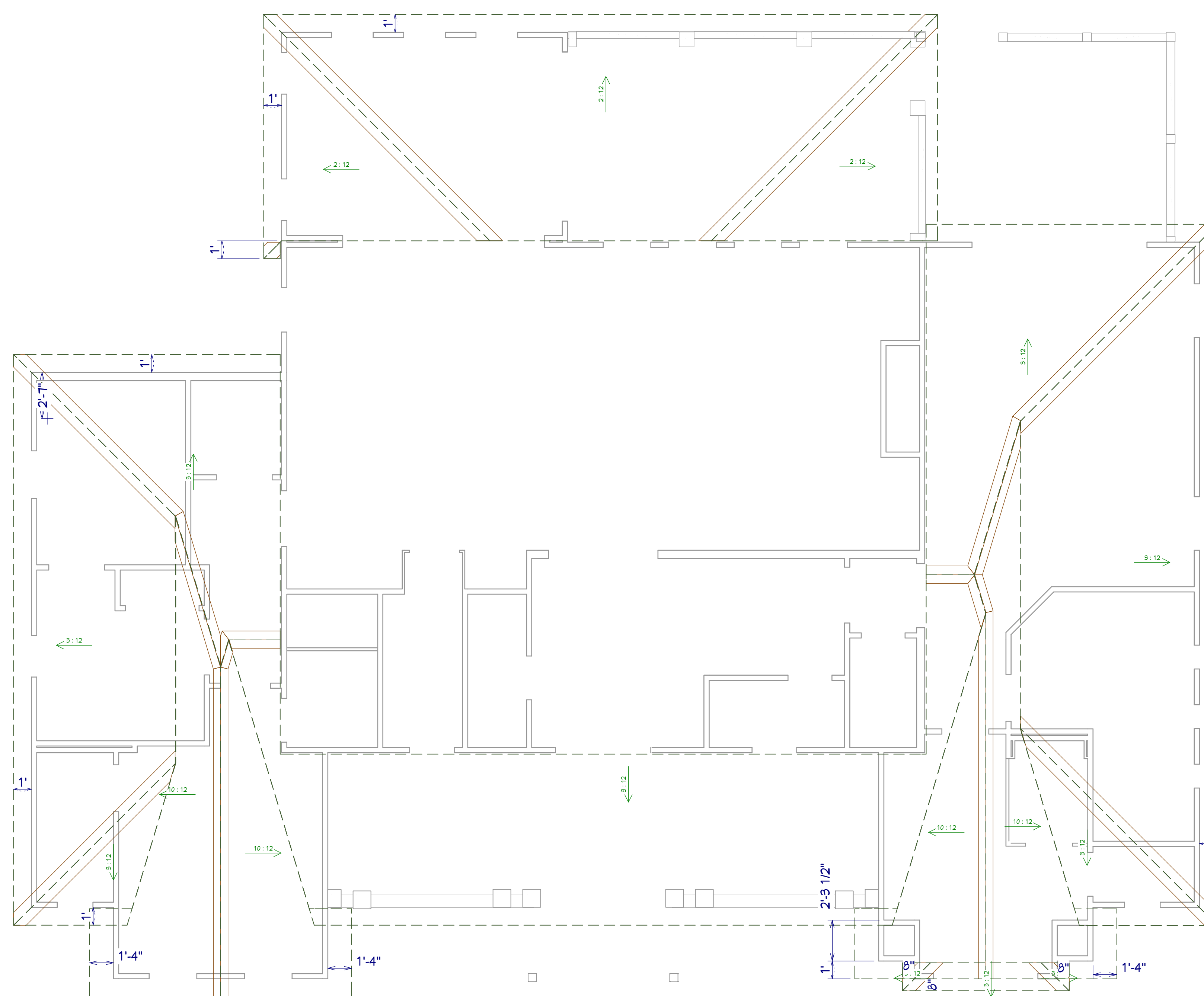
A2



Garage & Foundation
Plan
 Scale: 1/4" = 1'



2nd Floor



1st Floor

Roof Plan

Scale: 1/4" = 1'



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ROOF PLAN
Roof Plan

DATE:
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SHEET:

A4



Front Elevation

Scale: 1/4" = 1'



Rear Elevation

Scale: 1/4" = 1'



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EXTERIOR ELEVATIONS (Alternate)

DATE:
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SHEET:

A5



Right Elevation

Scale: 1/4" = 1'



Left Elevation

Scale: 1/4" = 1'



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EXTERIOR
 ELEVATIONS
 (Alternate)

DATE:
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SHEET:

A6

GENERAL NOTES AND SPECIFICATIONS

DESIGN CRITERIA:

2018 International Building Code with SC modifications
 2018 International Fire Code with SC modifications
 2018 International Plumbing Code
 2018 International Mechanical Code with SC modifications
 2018 International Fuel Gas Code with SC modifications
 2009 South Carolina Energy Conservation Code
 2017 National Electrical Code (NFPA 70) with SC modifications
 2017 A117.1 ANSI

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH ALL STATE AND LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

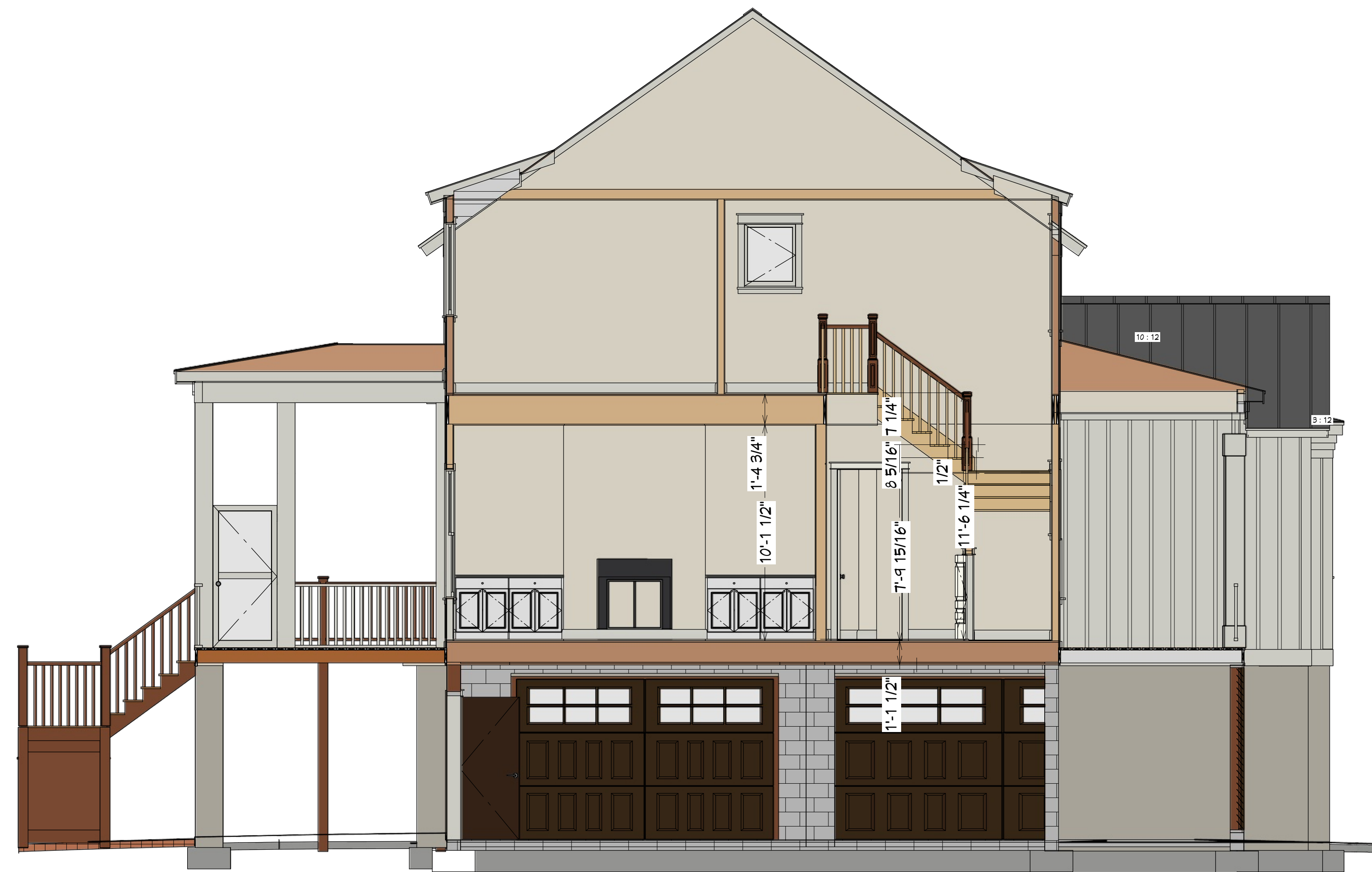
THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

FRAMING NOTES:

ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FRAMING, ROUGH OPENING.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.



2
A1 Living, Stair Main Cross Section



7
A3 Garage, Foyer, Master Bath Main Cross Section



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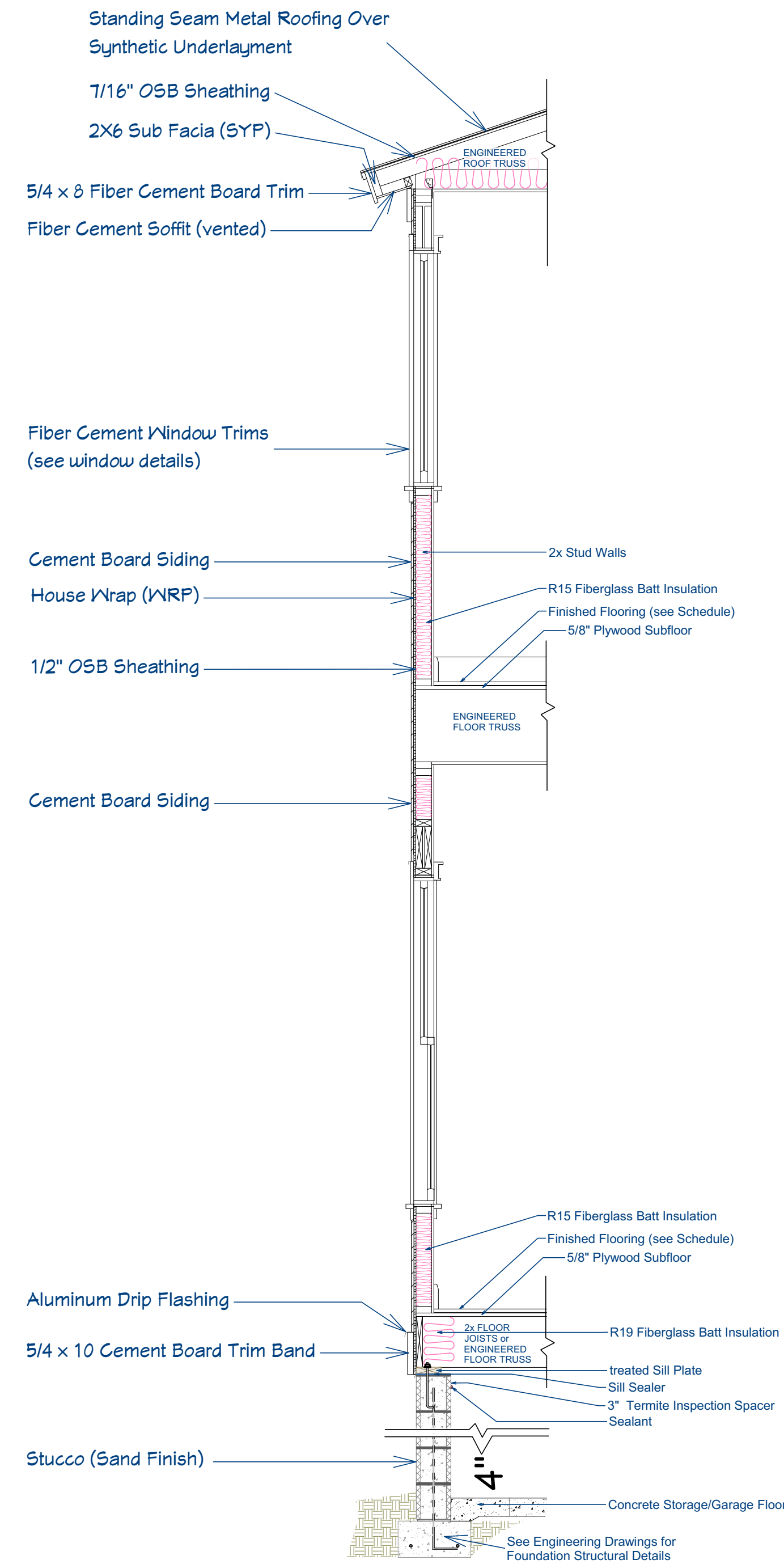
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Sections & Details

DATE:
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SHEET:

A1



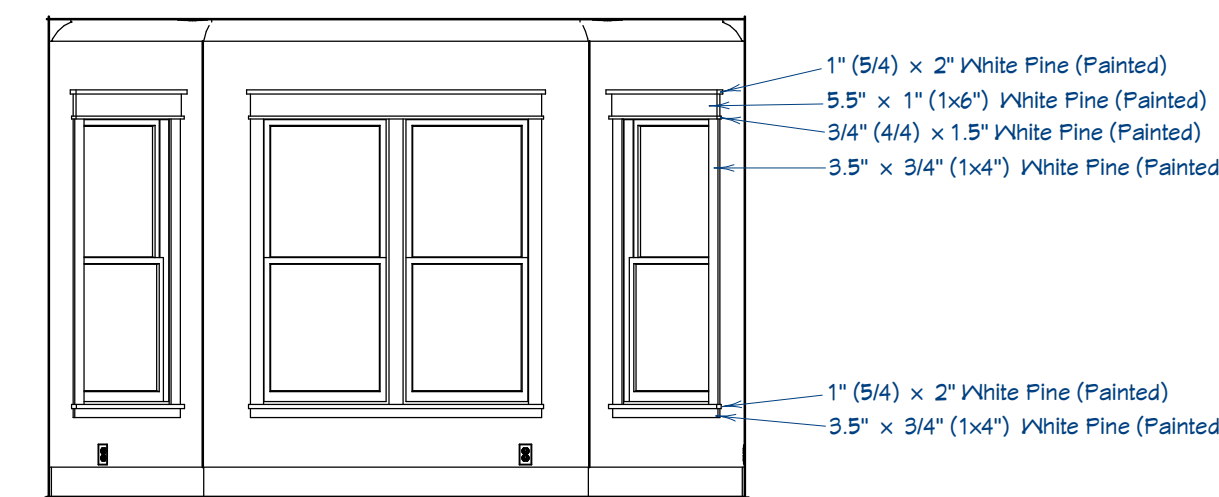
WALL TYPICAL Scale: 1/2" = 1'



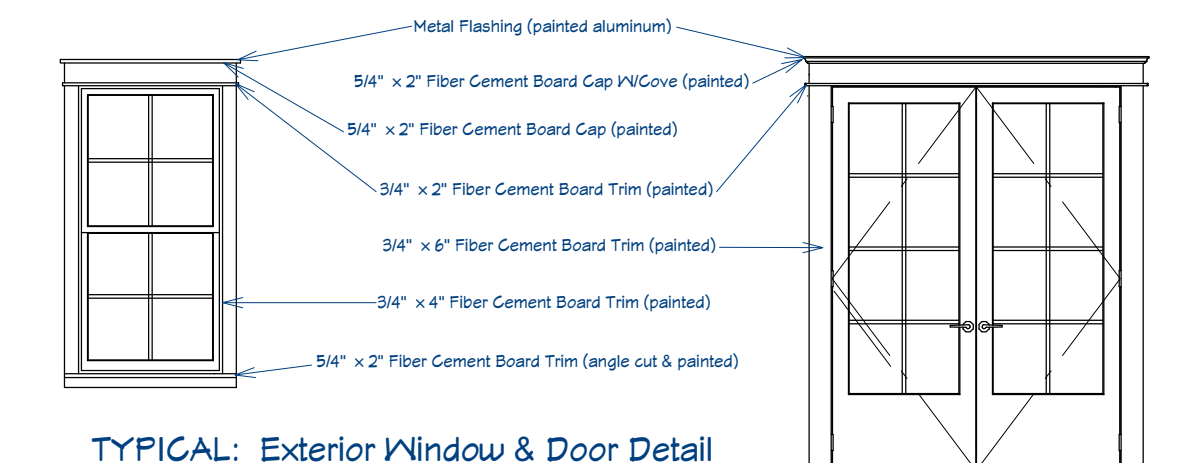
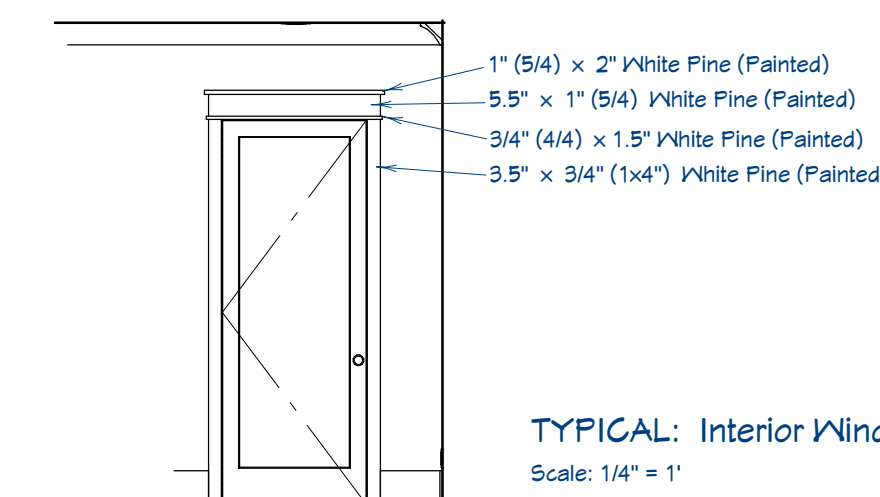
- 1) PREPARE ROUGH OPENING: CUT STND. "I-CUT" IN THE WRB. CUT (2) 45° SLITS AT TOP TO CREATE FLAP. APPLY FLEXIBLE FLASHING AT SILL + 6" MIN. UP JAMBS. SECURE FLEXED EDGE OF FLASHING WITH MECHANICAL FASTENERS.
- 2) INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.
- 3) APPLY FLASHING TAPE AT JAMBS, EXTENDING 1" ABOVE AND BELOW WINDOW HEAD FLANGE AND BOTTOM OF SILL FLASHING. APPLY FLASHING TAPE ALONG HEAD, EXTENDING BEYOND OUTER EDGES OF JAMB FLASHING.
- 4) REPLACE WRB FLAP AT HEAD AND TAPE REMAINING CUTS IN WRB

*REVISE INSTALLATION PROCESS ACCORDING TO WINDOW MANUFACTURER'S INSTRUCTIONS

Window Flashing Detail

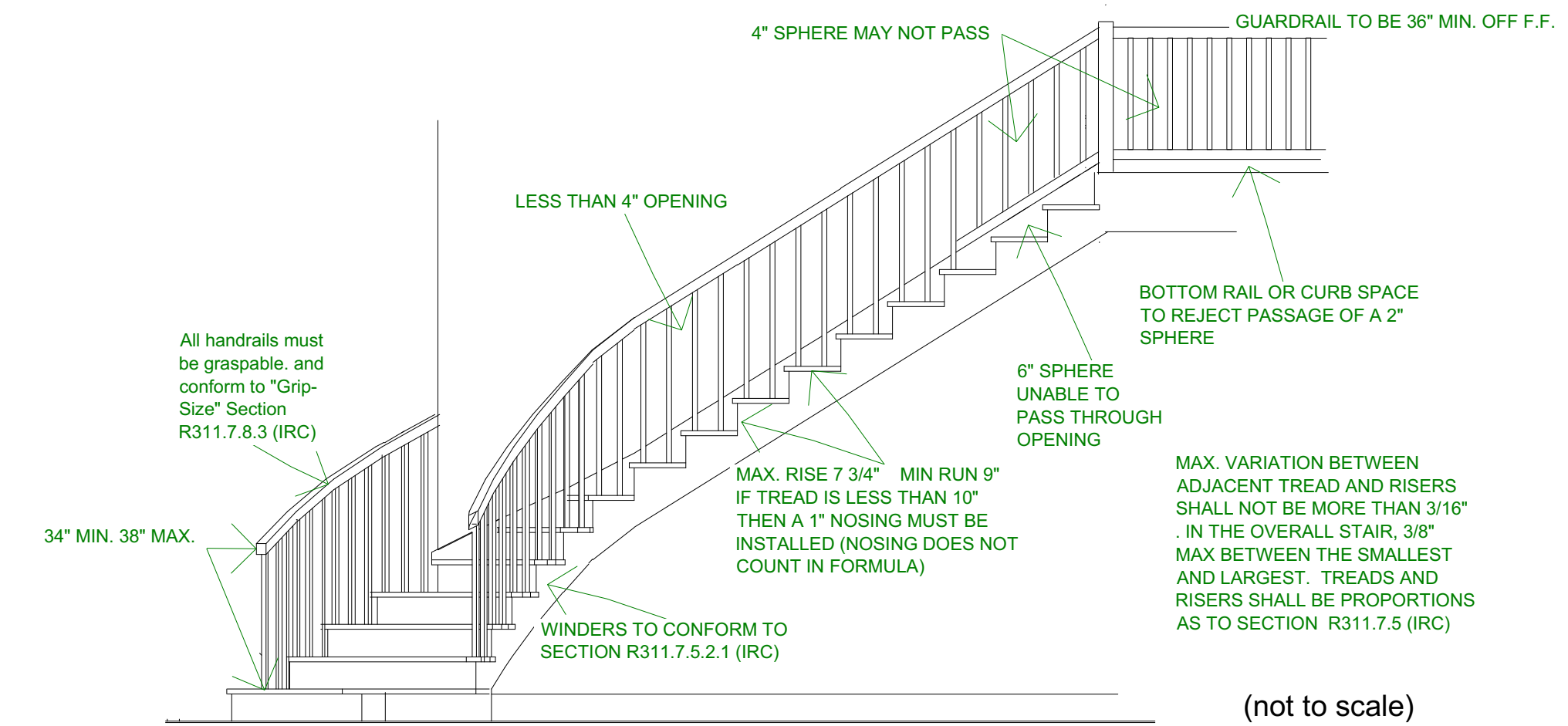


TYPICAL: Interior Window & Door Detail
Scale: 1/4" = 1"



TYPICAL: Exterior Window & Door Detail
Scale: 1/4" = 1"

TYPICAL: STAIRS, HANDRAILS & GUARDRAILS



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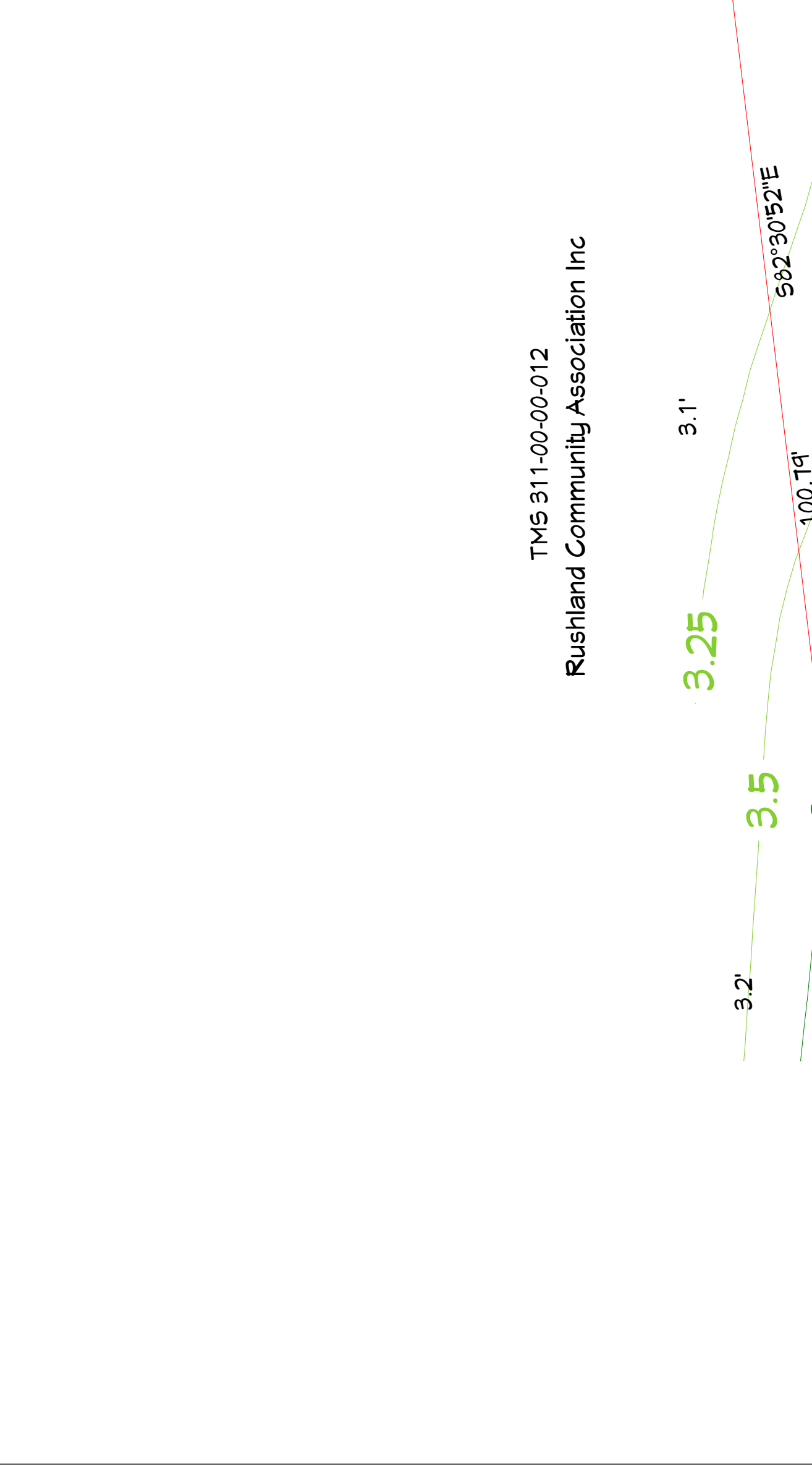
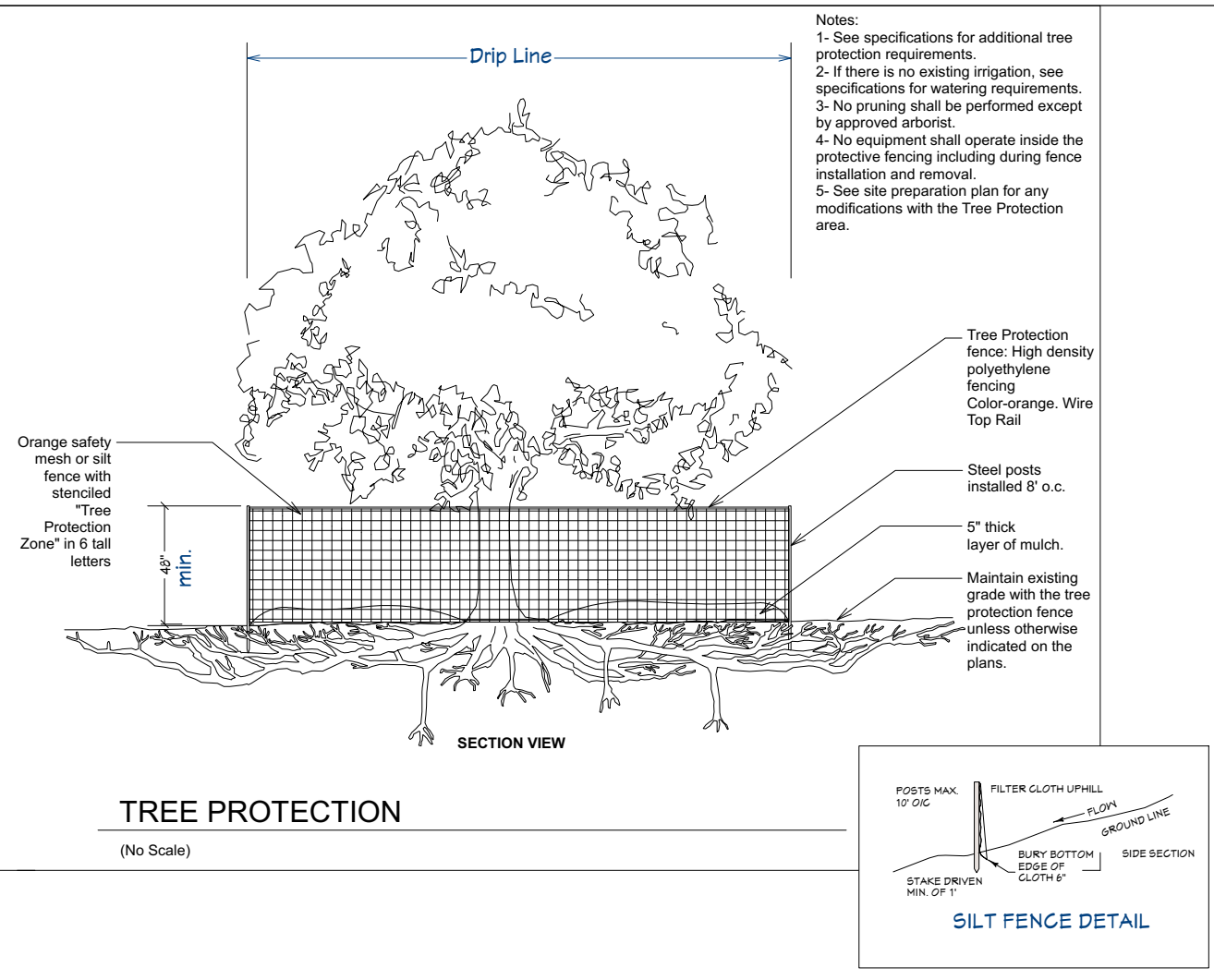
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Schedules & Details

DATE:
12/14/2021

SHEET:

A8



LEGEND:

- 5/8" rebar found
- 5/8" rebar set
- ▲ calculated point
- ⊗ Temporary bench mark (Elev. = 7.91)
Elevation Datum: NGVD 1988
- 6.8 spot elevation
- ⊗ water meter
- ⊗ Cable Box
- ⊗ Electric box
- ⊗ Sewer Clean out
- Tree (existing)
- 7' Proposed Contour Line
- 6 Contour line (existing)
- Existing Drainage Flow
- Proposed Drainage Flow
- Temp Washdown Area
- Tree Protection Zone
- Silt Fence

LINE	BEARING	DISTANCE
L1	S82°59'23"E	13.46'
L2	S18°03'23"E	20.84'
L3	S70°10'52"E	49.09'
L4	N84°10'36"E	17.65'



Lot Total Area
21,952 Square Feet
0.504 Acres

Highland Area
19,506 Square Feet
0.448 Acres

Marshland Area
2,446 Square Feet
0.056 Acres

Lot 112
TMS 311-00-00-266
Stobo Holdings LLC

Lot 114
TMS 311-00-00-264
Kyle & Julianne Flanagan

2405 Rushland Plantation Drive
Johns Island, SC 29455

Design Development

STATE OF SOUTH CAROLINA
Pendum Group LLC
Ravenel, SC
No. 10166
REGISTERED ARCHITECTS

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Site Plan Tree Protection & Drainage

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SHEET:
A9

Plot Plan, Tree Protection/Removal & Proposed Drainage Plan

Scale: 1" = 10'



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Aerial Overlay

DATE:
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SHEET:

A10